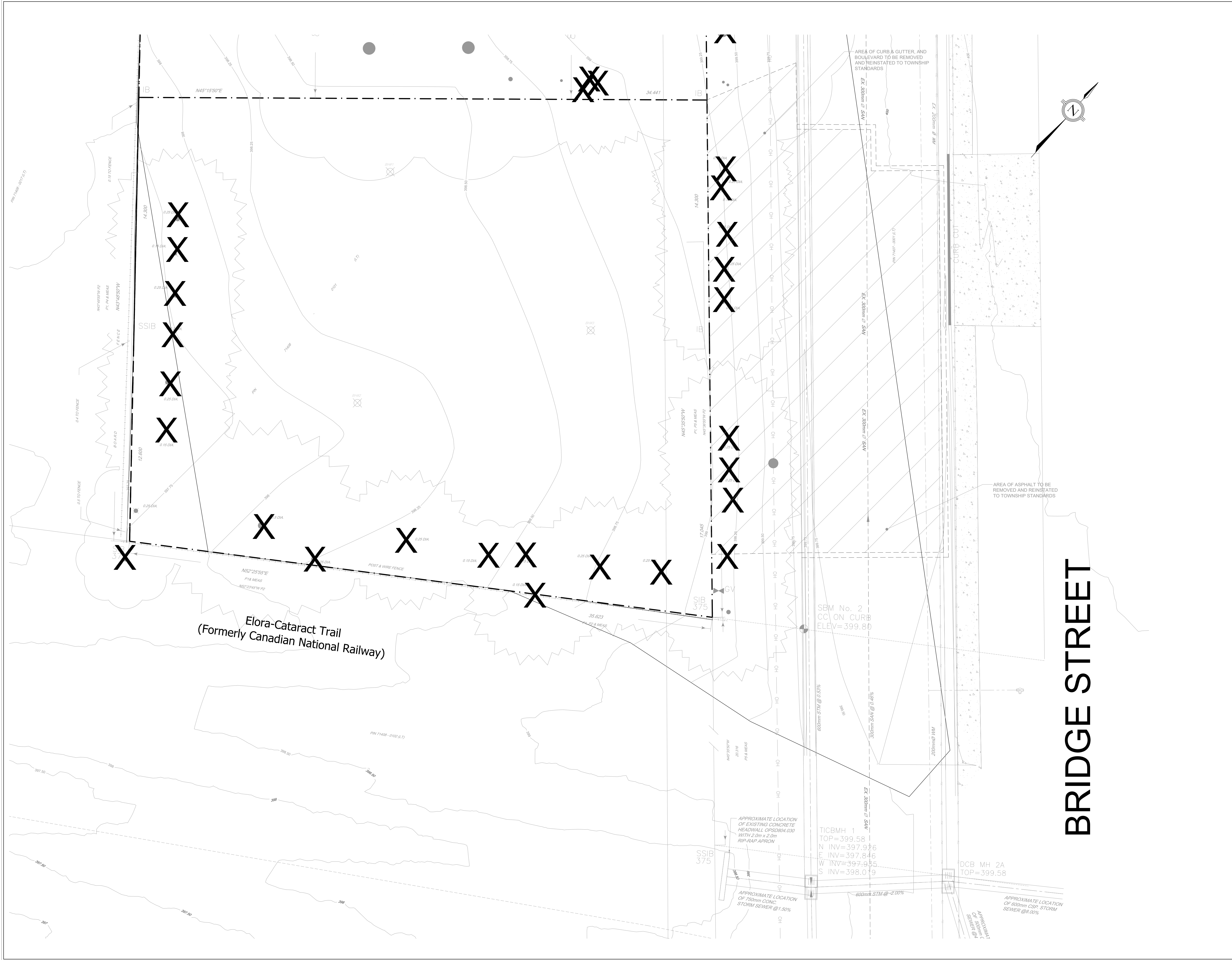




KEY PLAN
SCALE: N.T.S.

LEGEND:

PROPERTY BOUNDARY

EXISTING DECIDUOUS TREE
EXISTING CONIFEROUS TREE
EXISTING BOREHOLE
EXISTING GAS METER
EXISTING MANHOLE
EXISTING CATCHBASIN
EXISTING HYDRO POLE
EXISTING LIGHT STANDARD
PROPERTY BOUNDARY
EXISTING OVERHEAD HYDRO
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING STORM SEWER
EXISTING CURB & GUTTER
EXISTING FENCELINE

EXISTING CONTOURS
EXISTING GROUND SHOT

EXISTING BUILDING

EXISTING LIGHT STANDARD

EXISTING OVERHEAD HYDRO

EXISTING GAS LINE

EXISTING WATER LINE

EXISTING SANITARY SEWER

EXISTING STORM SEWER

EXISTING CURB & GUTTER

EXISTING FENCELINE

REMOVALS

EXISTING SERVICES:
ALL EXISTING UNDERGROUND SANITARY, STORM AND WATERMAIN, INCLUDING INVERTS AND PIPE DIAMETER, ARE TAKEN FROM AS-BUILT PLAN AND PROFILE DRAWINGS OBTAINED FROM THE TOWNSHIP OF CENTRE WELLINGTON.
STREET CITY DRAWINGS
BRIDGE ST M4351, DATED 03/92
SITE PLAN
PREPARED BY: MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
DATE: JULY 9, 2026
TOPOGRAPHIC & LEGAL
PREPARED BY: VAN HARTEN LAND SURVEYORS - ENGINEERS
DATE: APRIL 30, 2026
BENCHMARK NOTES
BENCHMARK PROVIDED BY VAN HARTEN LAND SURVEYORS - ENGINEERS.
ELEVATIONS ARE BASED ON GNSS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.
CUT CROSS ON CURB NEAR NE CORNER OF: SUBJECT PROPERTY HAVING AN ELEVATION OF 400.02 METRES. CUT CROSS ON CURB NEAR SE CORNER FOR SUBJECT PROPERTY HAVING AN ELEVATION OF 399.80 METRES.

Notes
1. This drawing is the exclusive property of R. J. Burnside & Associates Limited. The reproduction of any part without prior written consent of this office is strictly prohibited.
2. The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to this office prior to construction.
3. This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.

NOT FOR CONSTRUCTION

No.	Issue / Revision	Date	Auth.
1	ISSUED FOR REVIEW	07/21/26	AK
2	ISSUED FOR SITE PLAN APPROVAL	07/30/26	AK

LICENSED PROFESSIONAL ENGINEER
A. E. KROETSCH
100072069
July 30, 2026
PROVINCE OF ONTARIO

R. J. Burnside & Associates Limited
1405 Pickering Parkway
Pickering, Ontario, L1V 7G7
Telephone: (905) 420-5777
Fax: (905) 420-5247
web: www.rjburnside.com

Client
ELORA GREENS HOUSING DEVELOPERS
120 MATHESON BLVD E
MISSISSAUGA, ON
L4Z 1X1

Project Name:
65-69 BRIDGE STREET
ELORA, ON
NOB 1SO

Drawing Title
EXISTING CONDITIONS AND REMOVALS PLAN

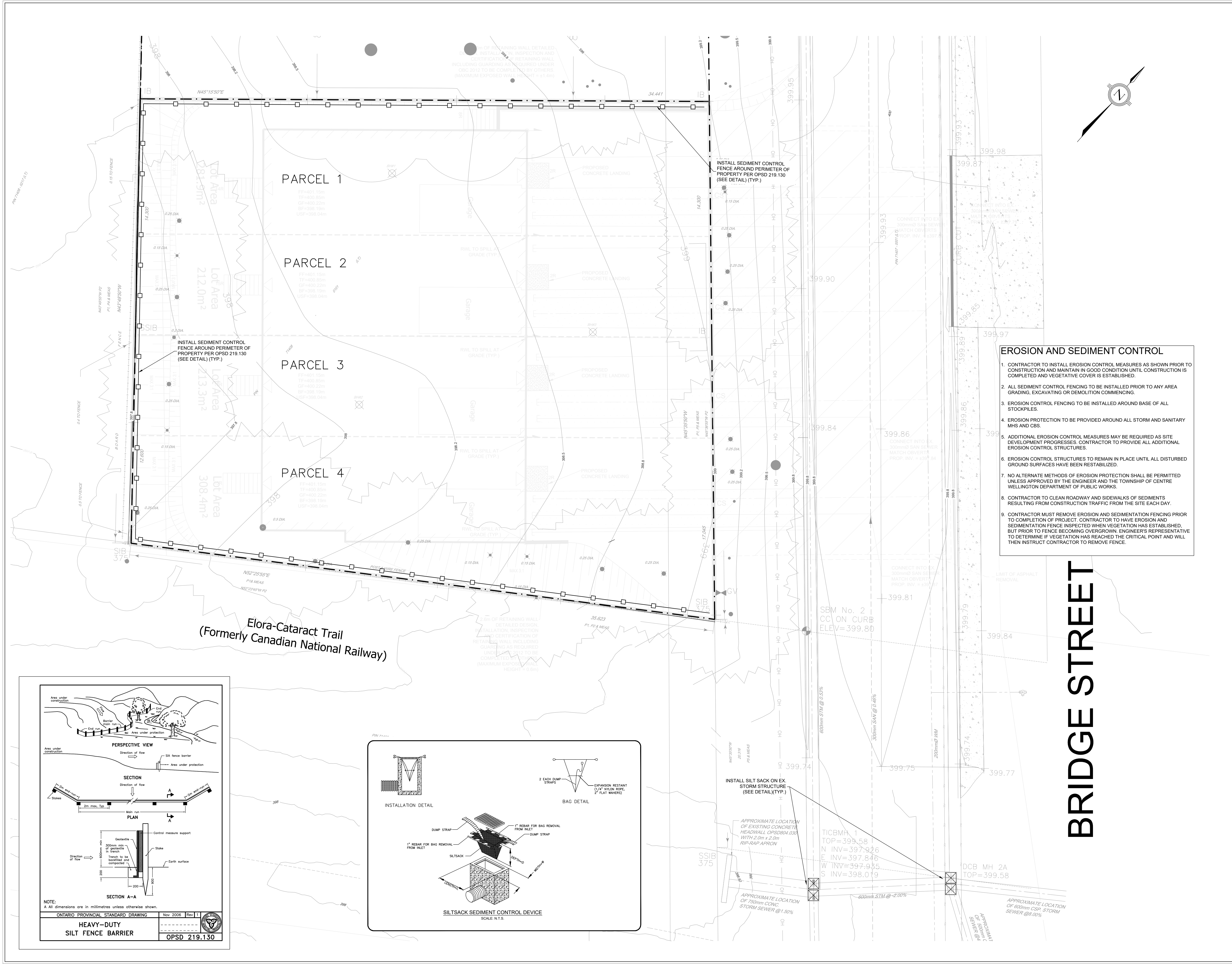
Drawn	Checked	Designed	Checked	Date	Drawing No.
MB	AK	MB	AK	26/05/05	

Project No.	Contract No.	Revision No.
300001644		

Scale
1:100
0 2.0 4.0 6.0m

EX1

Plotted by:MMcGee Paper size: ARCH D (24.00 X 36.00 Inches) Plot table: Rjb Full Scale-pickering 2013.ctb



KEY PLAN
SCALE: N.T.S.

LEGEND:

EXISTING DECIDUOUS TREE	EXISTING BUILDING	PROPOSED DWELLING
EXISTING CONIFEROUS TREE	DOOR TO DWELLING	EXISTING CONTOURS
EXISTING BOREHOLE	EXISTING GAS METER	EXISTING MANHOLE
EXISTING CATCHBASIN	EXISTING HYDRO POLE	EXISTING LIGHT STANDARD
EXISTING OVERHEAD HYDRO	EXISTING GAS LINE	EXISTING STORM SEWER
EXISTING CURB & GUTTER	EXISTING FENCELINE	PROPOSED CLEANOUT
PROPOSED INFILTRATION GALLERY	PROPOSED SILT FENCE	PROPOSED SILT SACK

EXISTING SERVICES:
ALL EXISTING UNDERGROUND SANITARY, STORM AND WATERMAIN, INCLUDING INVERTS AND PIPE DIAMETER, ARE TAKEN FROM AS-BUILT PLAN AND PROFILE DRAWINGS OBTAINED FROM THE TOWNSHIP OF CENTRE WELLINGTON. STREET CITY DRAINAGE, M4351, DATED 03/92.

SITE PLAN
PREPARED BY: MHC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
DATE: JULY 9, 2026
TOPOGRAPHIC & LEGAL
PREPARED BY: VAN HARTEN LAND SURVEYORS - ENGINEERS
DATE: APRIL 30, 2026
BENCHMARK NOTES
BENCHMARK PROVIDED BY VAN HARTEN LAND SURVEYORS - ENGINEERS.
ELEVATIONS ARE BASED ON GNSS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.
CUT CROSS ON CURB NEAR NE CORNER OF: SUBJECT PROPERTY HAVING AN ELEVATION OF 400.02 METRES. CUT CROSS ON CURB NEAR SE CORNER FOR SUBJECT PROPERTY HAVING AN ELEVATION OF 399.80 METRES.

Notes

- This drawing is the exclusive property of R. J. Burnside & Associates Limited. The reproduction of any part without prior written consent of this office is strictly prohibited.
- The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to this office prior to construction.
- This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.

NOT FOR CONSTRUCTION

No.	Issue / Revision	Date	Auth.
1	ISSUED FOR REVIEW	07/21/26	AK
2	ISSUED FOR SITE PLAN APPROVAL	07/30/26	AK

Licensed Professional Engineer
A.E. KROETSCH
100072069
July 30, 2026
PROVINCE OF ONTARIO

R.J. Burnside & Associates Limited
1405 Pickering Parkway
Pickering, Ontario, L1V 7G7
Telephone: (905) 420-5777
Fax: (905) 420-5247
web: www.rjburnside.com

Client
ELORA GREENS HOUSING DEVELOPERS
120 MATHESON BLVD E
MISSISSAUGA, ON
L4Z 1X1

Project Name:
65-69 BRIDGE STREET
ELORA, ON
NOB 1SO

Drawing Title
EROSION SEDIMENT CONTROL PLAN

Drawn	Checked	Designed	Checked	Date	Drawing No.
AB	MB	AB	MB	26/05/05	

Project No. 300061644
Contract No.
Revision No.

Scale 1:100

ES C1

GENERAL NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE SITE PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED ON THE DRAWINGS THE STANDARD TOWNSHIP REGION (OR COUNTY), MTO AND OPSD DRAWINGS AND OPSs ARE TO CONSTITUTE PART OF THIS CONTRACT AND DRAWINGS.
- REFER TO O.B.C. - 2012 STANDARDS AND SPECIFICATIONS AND TOWNSHIP SPECIFICATIONS AND STANDARD DRAWINGS FOR LIST OF APPROVED MANUFACTURERS AND MATERIALS.
- EXISTING STRUCTURES ARE NOT TO BE DISTURBED, NOR ENCR OACH ON ADJACENT PROPERTIES UNLESS INSTRUCTED BY THE ENGINEER.
- THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNERS CONTRACTOR FROM OBTAINING, BUT NOT LIMITED TO THE FOLLOWING PERMITS, ROAD CUTS, SEWER PERMITS, RELOCATION OF SERVICES, ENCROACHMENT AGREEMENTS, APPROACH APPROVAL PERMITS, ETC.
- PRIOR TO CONSTRUCTION, THE ENGINEER IS TO BE NOTIFIED BY THE OWNER AND THE CONTRACTOR AS TO THE EXTENT OF THE CONSTRUCTION LIMITS THEY PROPOSE. THE TOWNSHIP, BUILDING AND PLUMBING OFFICIALS ARE TO BE NOTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE SERVICING PLANS, LANDSCAPE PLAN, SITE ELECTRICAL PLANS, AND ANY OTHER PLANS OR DRAWINGS WHICH DEPICT WORKS THAT ARE PROPOSED FOR THIS SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNAGE, DELINEATORS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS FOR THE TOWNSHIP AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ONTARIO.
- THE CONTRACTOR SHALL ENDEAVOUR TO PREVENT MUD TRACKING ONTO EXISTING RIGHT-OF-WAYS AND SHALL PROVIDE FOR CLEANUP AT HIS OWN EXPENSE AS DIRECTED BY THE TOWNSHIP. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO CONTROL DUST ON THE PROJECT AND HE SHALL PROVIDE CONTROLLING MEASURES AS DIRECTED BY THE TOWNSHIP.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION. LOCATION OF EXISTING UTILITIES TO BE VERIFIED IN THE FIELD.
- ALL SERVICES AND/OR UTILITIES LOCATED ON CONCRETE SIDEWALKS OR CURBS TO BE ISOLATED FROM THE SIDEWALK OR CURB AS PER OPSD 310.040.
- ALL UTILITIES SHALL BE LOCATED, SUPPORTED AND PROTECTED TO THE SATISFACTION OF THE UTILITY COMPANY DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE TOWNSHIP.
- THE CONTRACTOR IS TO OBTAIN, AND PAY FOR ANY NECESSARY PERMITS FOR ANY MUNICIPAL ROAD CUTS FOR THE INSTALLATION OF SANITARY, STORM, AND WATER SERVICE CONNECTIONS. ROAD CUTS TO BE RESTORED AS PER TOWNSHIP SATISFACTION.
- BLASTING WILL NOT BE ALLOWED UNLESS AUTHORIZED BY THE TOWNSHIP.
- ANY UTILITY RELOCATIONS DUE TO THIS DEVELOPMENT TO BE UNDERTAKEN AT THE EXPENSE OF THE OWNER/DEVELOPER.
- ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE ENGINEER WHICH MUST BE RETURNED AT THE COMPLETION OF WORK.
- DRIVEWAYS SHALL BE SETBACK A MINIMUM CLEARANCE OF 1.0m FROM ALL ABOVEGROUND SERVICES OR OTHER OBSTRUCTIONS.
- ALL CONSTRUCTION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
- ANY CONFLICTS WITH EXISTING SERVICES SHALL BE RECTIFIED AT THE OWNER'S EXPENSE

GENERAL TESTING AND INSPECTION NOTES

- TESTING OF ALL SERVICES BY GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING GM BLUEPLAN ENGINEERING LIMITED FOR THE COMPLETION OF ALL REQUIRED SITE INSPECTIONS.
- ALL STORM SEWERS ARE TO BE MANDREL TESTED PRIOR TO FINAL ACCEPTANCE BY THE ENGINEER. ALL MANDREL TESTING AS PER OPSs 410.
- ALL STORM REQUIRE FIELD INSPECTION BY THE SITE SERVICING ENGINEERING DURING INSTALLATION INSPECTION SERVICES REQUIRE A MINIMUM OF 4 HOURS NOTICE.

SERVICING NOTES - SANITARY

- ALL SANITARY SEWERS ARE TO BE PVC-DR 35 IN ACCORDANCE WITH CSA-B182.2, ASTM D-2779 AND ASTM D-3034 OR LATEST REVISIONS, RUBBER GASKET, SERVICES TO BE PVC-DR 28.
- EXISTING SEWER INVERTS, MATERIAL TYPE, AND SIZE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRECAST MANHOLES TO BE MANUFACTURED TO REQUIREMENTS OF CSA A257.4 AND A.S.T.M. DESIGNATION C478M. 1200Ø MANHOLES AS PER OPSD 701.010, 1500Ø MANHOLES AS PER OPSD 701.011 MANHOLE FRAMES AND COVERS AS PER OPSD 401.010 TYPE 'A'.
- ALL MAINTENANCE HOLES SHALL BE BENCHED UP TO 1/2 HEIGHT REGARDLESS OF PIPE SIZE. ALL BENCHING SHALL SLOPE UP AND AWAY FROM THE PIPE AT 8% SLOPE. SANITARY SEWER MAINTENANCE HOLES SHALL NOT BE PRE-BENCHED BY THE MANUFACTURER EXCEPT IN NEW DEVELOPMENT. BENCHING MAINTENANCE HOLES MUST BE COMPLETED DURING CONSTRUCTION ON SITE.
- BEDDING FOR PVC SANITARY SEWERS AS PER OPSD 802.010, GRANULAR 'A', COMPACTED TO 100% SPMD.
- ALL TESTING OF SANITARY SERVICES TO BE IN ACCORDANCE WITH O.B.C. - 2012 AND TOWNSHIP SPECIFICATIONS.

SERVICING NOTES - WATER

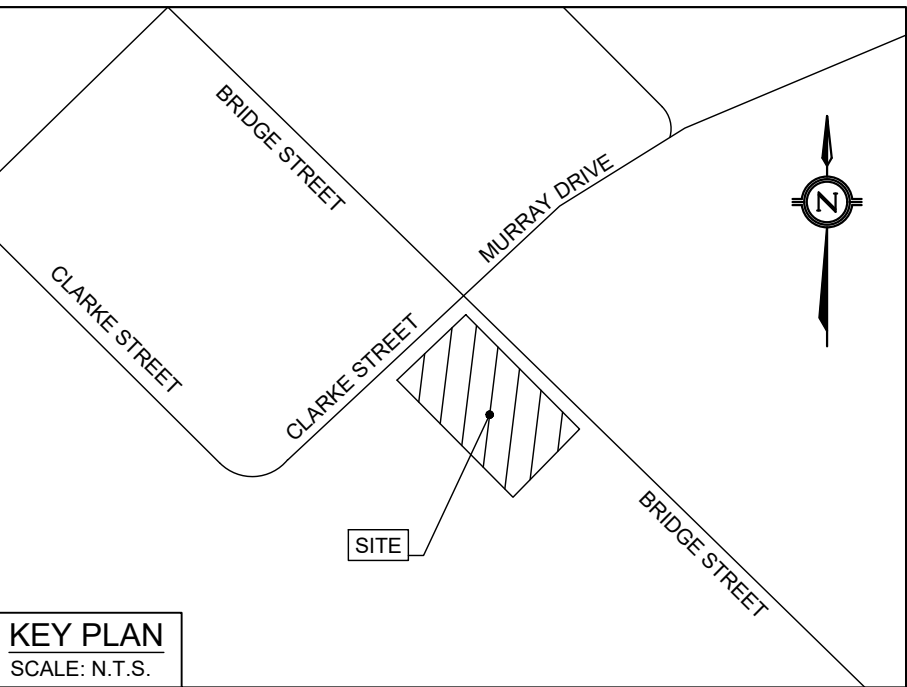
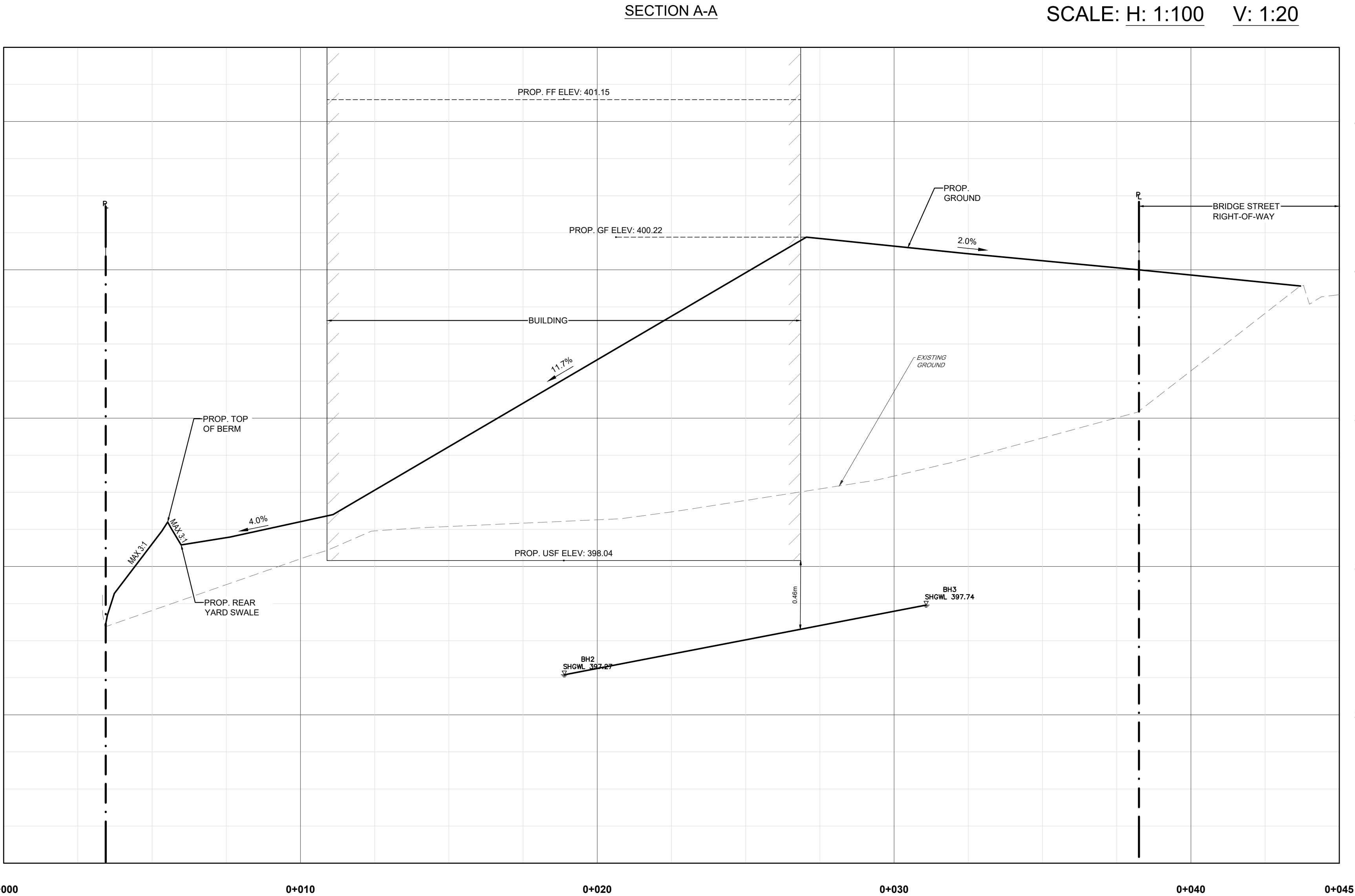
- WATER SERVICE PIPE TO BE PVC-DR 18 CL 150 CONFORMING TO CSA B137.3, INCLUDING 12 GAUGE 7 STRAND TRACER WIRE BETWEEN HYDRANTS OR OTHER CONDUCTING APPURTENANCES. PIPE SHALL HAVE A MINIMUM COVER OF 2.0m. ALL WATERMAIN JOINTS TO BE APPROVED PUSH-ON, MECHANICAL, OR FLANGE TYPE JOINTS AS REQUIRED FOR 1000 kPa RATED PRESSURE. CORROSION PROTECTION FOR ALL FITTINGS, VALVES AND HYDRANTS.
- WATERMANS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 0.5m AND HORIZONTAL SEPARATION OF 2.4m BETWEEN ANY SEWER OR MANHOLE.
- CONTRACTOR TO CONFIRM THE SIZE, LOCATION AND MATERIAL TYPE OF EXISTING WATER SERVICE AND WATERMAIN PRIOR TO COMMENCING ANY WORK.
- EXISTING WATERMAIN OBVERTS TO BE CONFIRMED ON SITE AT THE TIME OF CONSTRUCTION.
- FLUSHING, SWABBING, AND TESTING OF WATERMAIN AS PER ONTARIO PROVINCIAL STANDARD SPECIFICATIONS.
- ALL WATERMAIN MATERIALS, INSTALLATION METHODS AND TESTING SHALL CONFORM TO OBC-2012 AND TOWNSHIP SPECIFICATIONS.
- ALL METALLIC WATER FITTINGS ARE TO HAVE ANODES, TRACE WIRE AND WRAPPED IN A THREE PART PETROLEUM TAPE SYSTEM IN ACCORDANCE WITH THE REGION OF WATERLOO DGSSMS.

SERVICING NOTES - STORM

- ALL STORM SEWERS 375mmØ AND SMALLER TO BE PVC SDR 35 IN ACCORDANCE WITH CSA-B182.2, ASTM D-2779 AND ASTM D-3034 OR LATEST REVISIONS. 450mmØ AND LARGER TO BE CONCRETE IN ACCORDANCE WITH CSA A257.2, CLASS 65Ø OR LATEST REVISIONS. UNLESS OTHERWISE NOTED.
- BEDDING FOR PVC STORM SEWERS AS PER OPSD 802.010, GRANULAR 'A', COMPACTED TO 98% SPD.
- BEDDING FOR CONCRETE PIPE AS PER OPSD-802.030, CLASS B, GRANULAR 'A', COMPACTED TO 98% SPMD.
- EXISTING SEWER INVERTS, MATERIAL TYPE, AND SIZE TO BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CATCHBASINS SHALL BE INSTALLED IN ACCORDANCE WITH OPSD 705.010 OR OPSD 705.020 ALL CATCHBASIN FRAMES AND COVERS IN THE ROADWAY AS PER OPSD 400.110. ALL CATCHBASIN FRAMES AND COVERS IN WALKWAY AREAS AS PER OPSD 400.100.
- ALL EXISTING SEWERS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- ALL CATCHBASIN LEADS TO BE MINIMUM 250mmØ PVC SDR 35 IN ACCORDANCE WITH CSA-B182.2, ASTM D-2779 AND ASTM D-3034, OR NON-REINFORCED CONCRETE PIPE, OR BOSS 2000 HDPE IN ACCORDANCE WITH CSA-B182.8, ASTM D-3350, UNLESS NOTED OTHERWISE.
- ALL MAINTENANCE HOLES AND CATCHBASIN MAINTENANCE HOLES SHALL BE BENCHED UP TO 3/4 HEIGHT REGARDLESS OF PIPE SIZE. ALL BENCHING SHALL SLOPE UP AND AWAY FROM THE PIPE AT 8% SLOPE. STORM SEWER MAINTENANCE HOLES SHALL NOT BE PRE-BENCHED BY THE MANUFACTURER EXCEPT IN NEW DEVELOPMENT. BENCHING MAINTENANCE HOLES MUST BE COMPLETED DURING CONSTRUCTION ON SITE.

GRADING

- THE GRADING PLAN IS TO BE READ WITH THE SITE SERVICES DRAWINGS.
- CONTRACTOR TO RESTORE AREAS ON PUBLIC R.O.W. OR ADJACENT LANDS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- ALL DRIVEWAY AND GRADING MATERIAL AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT TOWNSHIP STANDARDS AND SPECIFICATIONS.
- ALL FILL WITHIN THE SITE TO BE COMPACTED TO A MIN. OF 98% Skd. PROCTOR DRY DENSITY. ALL FILL WITHIN THE SITE PARKING AREA TO BE COMPACTED TO A MIN. OF 95% SPD. THE SUITABILITY OF ALL FILL MATERIALS ARE TO BE CONFIRMED BY A RECOGNIZED SOLS CONSULTANT TO THE DIRECTOR OF PUBLIC WORKS PRIOR TO INSTALLATION OF ANY ROAD BASE MATERIALS.
- LANDSCAPING SHALL NOT ENCR OACH ON BOULEVARD NOR SHALL BOULEVARD GRADES BE ALTERED.
- SILT FENCE(S) TO BE INSTALLED AND MAINTAINED TO PREVENT SILT FLOWING ONTO ADJACENT LANDS. SILTATION CONTROL SHALL BE ERECTED PRIOR TO ANY GRADING OR CONSTRUCTION AND SHALL BE IN GOOD REPAIR THROUGHOUT THE CONSTRUCTION AND GRADING PHASES.
- ANY CHANGES IN GRADES, CATCH BASINS, SERVICES LATERALS, STORM AND SANITARY SEWERS REQUIRE THE APPROVAL OF GM BLUEPLAN ENGINEERING LIMITED.
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF GM BLUEPLAN ENGINEERING LIMITED.
- ALL LANDSCAPING TO BE INSTALLED AS SOON AS POSSIBLE OR PRIOR TO THE END OF THE FIRST GROWING SEASON. LANDSCAPING TO BE MAINTAINED UNTIL IT IS ESTABLISHED.
- ALL COMPACTION TO BE CERTIFIED BY A GEOTECHNICAL CONSULTANT.
- ALL CURBS ARE TO BE 150mm ABOVE THE PROPOSED GUTTER LINE (ØL) UNLESS NOTED OTHERWISE.
- PAVEMENT GRADE SHALL BE MIN. 0.5%, MAX. 8%.
- DRAINAGE SWALE GRADE SHALL BE MIN. 2%, MAX. 6%.
- SLOPES IN LANDSCAPE AREAS AND ON BERMS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL, UNLESS NOTED OTHERWISE.



KEY PLAN
SCALE: N.T.S.

EXISTING SERVICES:
ALL EXISTING UNDERGROUND SANITARY, STORM AND WATERMAIN, INCLUDING INVERTS AND PIPE DIAMETER, ARE TAKEN FROM AS-BUILT PLAN AND PROFILE DRAWINGS OBTAINED FROM THE TOWNSHIP OF CENTRE WELLINGTON. STREET CITY DRAWINGS, BRIDGE ST M4351, DATED 03/92

SITE PLAN
PREPARED BY: MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
DATE: JULY 9, 2026
TOPOGRAPHIC & LEGAL
PREPARED BY: VAN HARTEN LAND SURVEYORS - ENGINEERS
DATE: APRIL 30, 2026

BENCHMARK NOTES
BENCHMARK PROVIDED BY VAN HARTEN LAND SURVEYORS - ENGINEERS. ELEVATIONS ARE BASED ON GNSS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.
CUT CROSS ON CURB NEAR NE CORNER OF: SUBJECT PROPERTY HAVING AN ELEVATION OF 400.02 METRES. CUT CROSS ON CURB NEAR SE CORNER FOR SUBJECT PROPERTY HAVING AN ELEVATION OF 399.80 METRES.

- Notes
- This drawing is the exclusive property of R. J. Burnside & Associates Limited. The reproduction of any part without prior written consent of this office is strictly prohibited.
 - The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to this office prior to construction.
 - This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.

NOT FOR CONSTRUCTION

No.	Issue / Revision	Date	Auth.
1	ISSUED FOR REVIEW	07/21/26	AK
2	ISSUED FOR SITE PLAN APPROVAL	07/30/26	AK

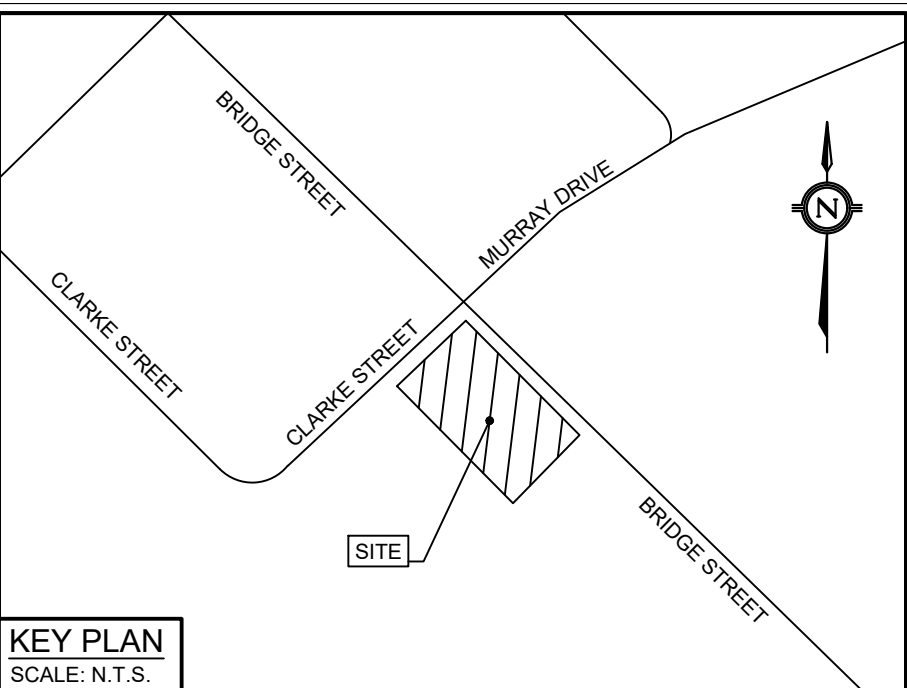
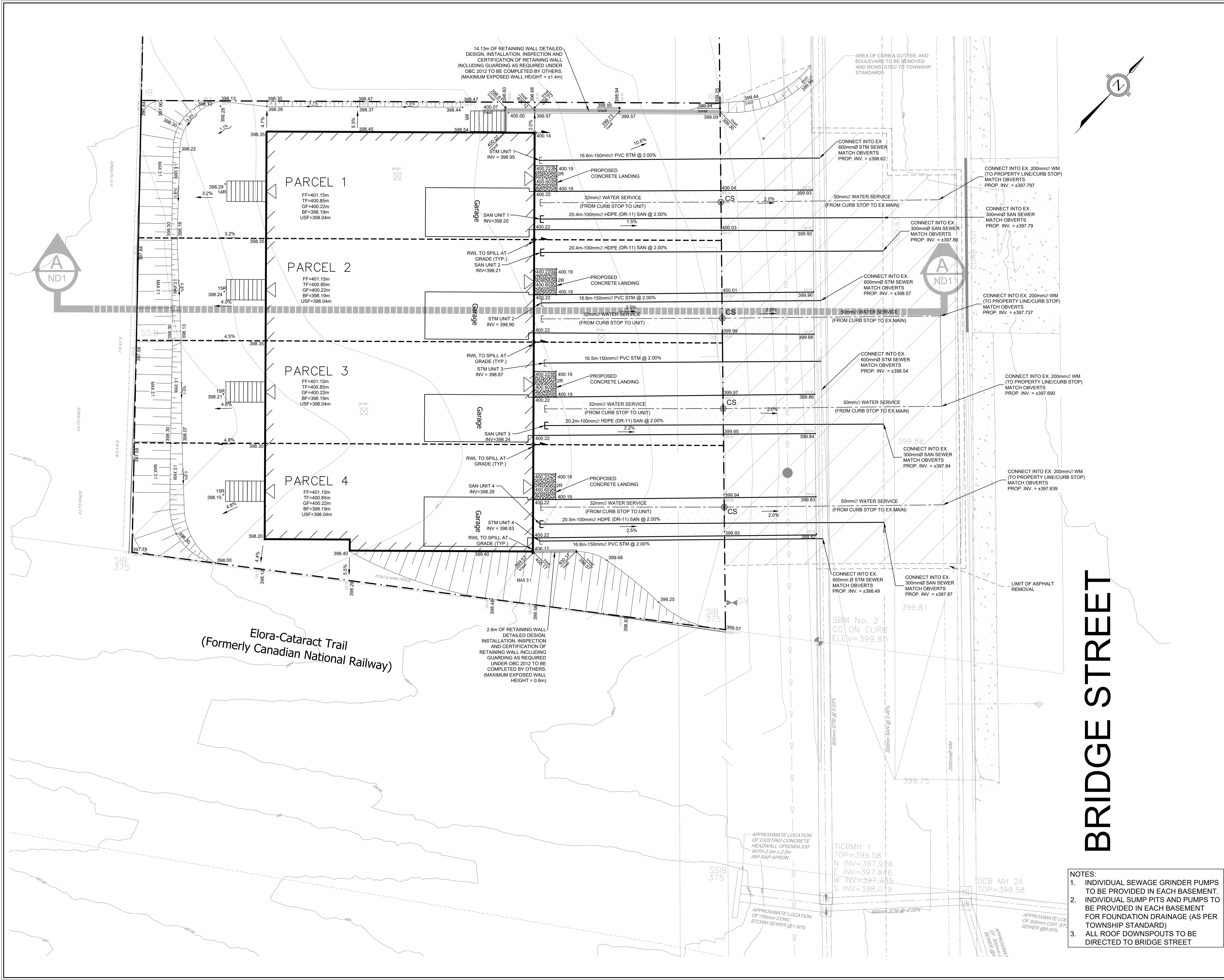


BURNSIDE
R.J. Burnside & Associates Limited
1405 Pickering Parkway
Pickering, Ontario, L1V 7G7
Telephone: (905) 420-5777
Fax: (905) 420-5247
web: www.rjburnside.com

Client
ELORA GREENS HOUSING DEVELOPERS
120 MATHESON BLVD E
MISSISSAUGA, ON
L4Z 1X1

Project Name:
65-69 BRIDGE STREET
ELORA, ON
NOB 1SO

Drawing Title					ND1
Drawn	Checked	Designed	Checked	Date	
DS	AK	MB	AK	26/05/05	
Project No.	Contract No.	Revision No.			
300061644					
Scale	0 2.0 4.0 6.0m				
1:100					



LEGEND:

PROPERTY BOUNDARY	---
PARCEL BOUNDARY	---
EXISTING DECIDUOUS TREE	○
EXISTING CONIFEROUS TREE	●
EXISTING BOREHOLE	⊙
EXISTING GAS METER	GM
EXISTING MANHOLE	MH
EXISTING CATCHBASIN	CB
EXISTING HYDRO POLE	HP
EXISTING LIGHT STANDARD	⊙
EXISTING OVERHEAD HYDRO	OH
EXISTING GAS LINE	---
EXISTING WATER LINE	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
EXISTING CURB & GUTTER	---
EXISTING FENCELINE	---
REMOVALS	X

EXISTING SERVICES:
ALL EXISTING UNDERGROUND SANITARY, STORM AND WATERMAIN, INCLUDING INVERTS AND PIPE DIAMETER, ARE TAKEN FROM AS-BUILT PLAN AND PROFILE DRAWINGS OBTAINED FROM THE TOWNSHIP OF CENTRE WELLINGTON. STREET CITY DRAWINGS, BRIDGE ST M4351, DATED 03/92.

SITE PLAN
PREPARED BY: MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE
DATE: JULY 9, 2026

TOPOGRAPHIC & LEGAL
PREPARED BY: VAN HARTEN LAND SURVEYORS - ENGINEERS
DATE: APRIL 30, 2026

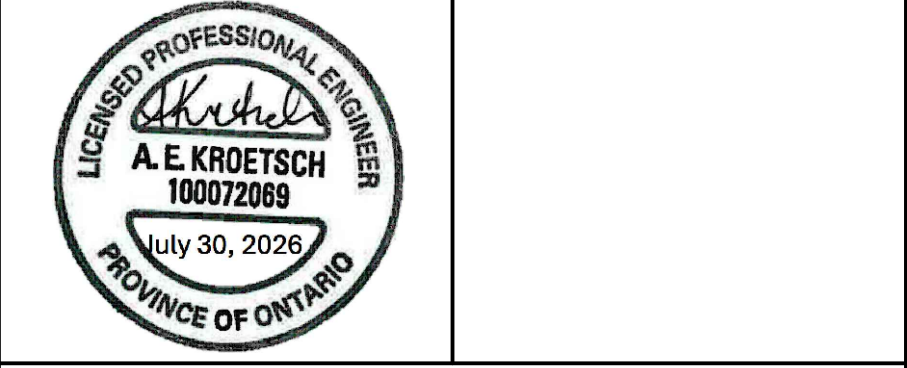
BENCHMARK NOTES
BENCHMARK PROVIDED BY VAN HARTEN LAND SURVEYORS - ENGINEERS. ELEVATIONS ARE BASED ON GNSS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

CUT CROSS ON CURB NEAR NE CORNER OF: SUBJECT PROPERTY HAVING AN ELEVATION OF 400.02 METRES. CUT CROSS ON CURB NEAR SE CORNER FOR SUBJECT PROPERTY HAVING AN ELEVATION OF 399.80 METRES.

- Notes
- This drawing is the exclusive property of R. J. Burnside & Associates Limited. The reproduction of any part without prior written consent of this office is strictly prohibited.
 - The contractor shall verify all dimensions, levels, and datums on site and report any discrepancies or omissions to this office prior to construction.
 - This drawing is to be read and understood in conjunction with all other plans and documents applicable to this project.

NOT FOR CONSTRUCTION

No.	Issue / Revision	Date	Auth.
1	ISSUED FOR REVIEW	07/21/26	AK
2	ISSUED FOR SITE PLAN APPROVAL	07/30/26	AK



BURNSIDE
R.J. Burnside & Associates Limited
1405 Pickering Parkway
Pickering, Ontario, L1V 7G7
Telephone: (905) 420-5777
Fax: (905) 420-5247
web: www.rjburnside.com

Client
ELORA GREENS HOUSING DEVELOPERS
120 MATHESON BLVD E
MISSISSAUGA, ON
L4Z 1X1

Project Name
65-69 BRIDGE STREET
ELORA, ON
NOB 1SO

Drawing Title
GRADING AND SERVICING PLAN

Drawn DS	Checked MB	Designed DS	Checked MB	Date 26/05/05	Drawing No.
Project No. 300061644	Contract No.	Revision No.			

Scale
1:100

GS1

BRIDGE STREET

- NOTES:**
- INDIVIDUAL SEWAGE GRINDER PUMPS TO BE PROVIDED IN EACH BASEMENT.
 - INDIVIDUAL SUMP PITS AND PUMPS TO BE PROVIDED IN EACH BASEMENT FOR FOUNDATION DRAINAGE (AS PER TOWNSHIP STANDARD)
 - ALL ROOF DOWNSPOUTS TO BE DIRECTED TO BRIDGE STREET