



CITY OF FORT SASKATCHEWAN

**A BYLAW OF THE CITY OF FORT SASKATCHEWAN, IN THE PROVINCE OF ALBERTA,
TO AMEND THE LAND USE BYLAW, BYLAW C23-20**

BYLAW NO. C17-26

WHEREAS the *Municipal Government Act*, R.S.A., 2000, c.M-26 as amended or repealed and replaced from time to time, provides that a municipality has the power to amend the Land Use Bylaw;

NOW THEREFORE, the Council of the City of Fort Saskatchewan in the Province of Alberta, duly assembled, hereby enacts:

1. This Bylaw is cited as "A Bylaw to Amend the Land Use Bylaw C23-20".
2. That Schedule "A" of C23-20 be amended as follows:
 - a. Add the following as Section 6.26: EM – East Mirigal Special District be added, as shown in Schedule "A-1" attached hereto.
3. That Bylaw C23-20 Appendix A – Land Use District Map be amended as follows:
 - a. That part of NE-13-54-23-4 be redistricted from:
 - i. AG-S (Agricultural General South District) to EM (East Mirigal Special District);
 - ii. AG-S (Agricultural General South District) to C2 (Commercial Retail and Service District);
 - iii. AG-S (Agricultural General South District) to PR (Parks and Recreation District);
and
 - iv. AG-S (Agricultural General South District) to PU (Public Utility District).

As shown on the attached Schedule "B-1"

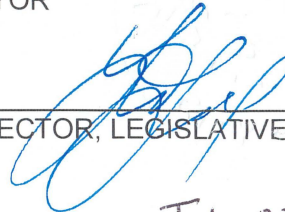
4. If any portion of this Bylaw is declared invalid by a court of competent jurisdiction, the invalid portion must be severed, and the remainder of the Bylaw is deemed valid.
5. That Bylaw C17-26 becomes effective upon third and final reading.

READ a first time this	7th	day of	July	2026
READ a second time this	21st	day of	July	2026
READ a third time this	21st	day of	July	2026



MAYOR

Acting



DIRECTOR, LEGISLATIVE SERVICES

Date Signed: July 22, 2026

Schedule A-1

6.26 EAST MIRIGAL SPECIAL DISTRICT (EM)

6.26.1 Purpose

The intent of the East Mirigal Special District is to facilitate the development of a low and medium density residential housing and park spaces within NE-13-54-23-4, in accordance with the approved Mirigal Neighbourhood Structure Plan. Low-density residential development will include Single and Semi-Detached Housing, and medium-density residential will include Multi-Attached Housing and Apartments. Secondary suites shall only be allowed within Single Detached Dwellings. Housing for this Special District to be consistent with Appendix II.

6.26.2 Areas of Application

This district applies to:

- a) Lands legally described as NE-13-54-23-4, as shown in Appendix I – Area of Application and Appendix II – Block Layout Map.

6.26.3 EM Permitted and Discretionary Uses

- a) The Fundamental Use Provisions as requisite qualifiers for Permitted and Discretionary Uses listed within 6.26.4 (b) and (c) shall ensure:
 - i. Apartments shall only be located on Multi-Family sites as shown on Appendix II – Block Layout Map.
 - ii. Home Business shall not occur within an Apartment.

(b) EM Permitted Uses	(c) EM Discretionary Uses
- Apartment - Duplex - Home Office - Multi-Attached Housing - Public Facility - Single Detached Housing - Semi-Detached Housing - Secondary Suite Accessory buildings to any use listed in subsection 6.26.3 (b).	- Garage Suite - Garden Suite - Home Business - Show Home - Temporary Sales Centre Accessory buildings to any use listed in subsection 6.26.3 (c).

6.26.4 Site Subdivision Regulations for Single Detached Housing, Duplexes

	Interior Site	Corner Site
a) Site Width	9.1m minimum	10.3m minimum
b) Site Depth	30.0m minimum	

6.26.5 Site Subdivision Regulations for Semi-Detached Housing

	Interior Lot	Corner Lot
a) Site Width	6.7m minimum (with lane) 7.8m minimum (without lane)	8.0m minimum (with lane) 9.0m minimum (without lane)
b) Site Depth	30.0m minimum	

6.26.6 Site Subdivision Regulations for Multi-Attached Housing

	Interior Lot	Corner Lot
a) Site Width	6.1m minimum 7.3m minimum (End Lot)	8.5m minimum
b) Site Depth	30.0m minimum	

6.26.7 Site Subdivision Regulations for Multi-Attached Street Oriented Housing

	Interior Lot	Corner Lot
a) Site Width	5.4m minimum 6.7m minimum (End Lot)	6.7m minimum
b) Site Depth	30.0m minimum	

6.26.8 Site Subdivision Regulations for Apartments

	Interior Lot	Corner Lot
a) Site Width	21.0m minimum	
b) Site Depth	30.0m minimum Public Service Building use Site Depth shall be at the discretion of the Subdivision Authority.	

6.26.9 Site Development Regulations for Single Detached Housing, Semi-Detached Housing, Duplex, Multi-Attached, and Multi-Attached Street Oriented Housing

	With Lane	Without Lane
a) Front Yard Setback	3.0m minimum 4.5m maximum	6.0m minimum 7.0m maximum
b) Front Yard Flanking Setback	2.4m minimum 3.0m maximum	

c) Rear Yard Setback	6.0m minimum 10.5m minimum where a garage or carport is detached from the principal building and is accessed from a lane at the rear of the property	8.0m minimum
d) Side Yard Setback	1.2m minimum	
e) Building Height	11.0m maximum 13.1m maximum for Multi-Attached Street-Oriented Housing	
f) Site Coverage	70% maximum for Multi-Attached Street Oriented Housing 60% maximum for all other uses	

6.26.10 Site Development Regulations for Multi-Family (Townhouses & Apartments with Shared Access)

	With Lane	Without Lane
a) Front Yard Setback	3.0m minimum 4.5m maximum	
b) Front Yard Flanking Setback	2.4m minimum 3.0m maximum	
c) Rear Yard Setback	6.0m minimum	8.0m minimum
d) Side Yard Setback	3.0m minimum when adjacent to Single Detached Housing, Semi-Detached Housing, or Multi-Attached Housing	
e) Building Height	13.1m maximum	
f) Site Coverage	To the discretion of Development Authority	
g) Density	Minimum of 50 dwelling units per net developable hectare to a maximum of 69 dwelling units per net developable hectare.	

6.26.11 Architectural and Site Design Features - General

These regulations apply to all developments within the district.

- To improve the architectural interest of the streetscape, each principal building shall be individually defined through a combination of architectural features that may include, and are not limited to, a distinct architectural style and a roofline, articulation of the façade, and building massing, provision of porches, verandas, and balconies, variation in building materials, colours and other façade enhancing elements to the satisfaction of the Development Authority.
- A Building shall have the same materials, colours, and architectural details on all facades exposed

to public streets (excluding lane), and parks and open spaces.

- c) Principal buildings with similar or mirrored front elevations must be separated by a minimum of two lots along the same side of the street and must not directly or diagonally front each other, unless the finishing materials, colours, architectural styles and treatments are substantially different in the opinion of the Development Authority.
- d) Abutting front attached garages and driveways for Semi-Detached Housing must be paired together to maximize separation between driveways to allow for on street parking and operational requirements.
- e) Rear-accessed detached garages shall include address numbers.

6.26.12 Access Regulations

- a) Where a site abuts a lane at the Rear Lot Line, access must be from the lane, except that:
 - i. Vehicle accesses may be from a street for a maximum of 50% of the principal dwellings per Site, not including Lane Dwellings; and
 - ii. Every building containing a non-residential use shall have at least one dedicated pedestrian corridor within the parking area connecting to the public entrances of the building.
 - iii. Maximum of 2 Single Detached Houses located along the alleyway shall be front-accessed, as identified in Appendix II.

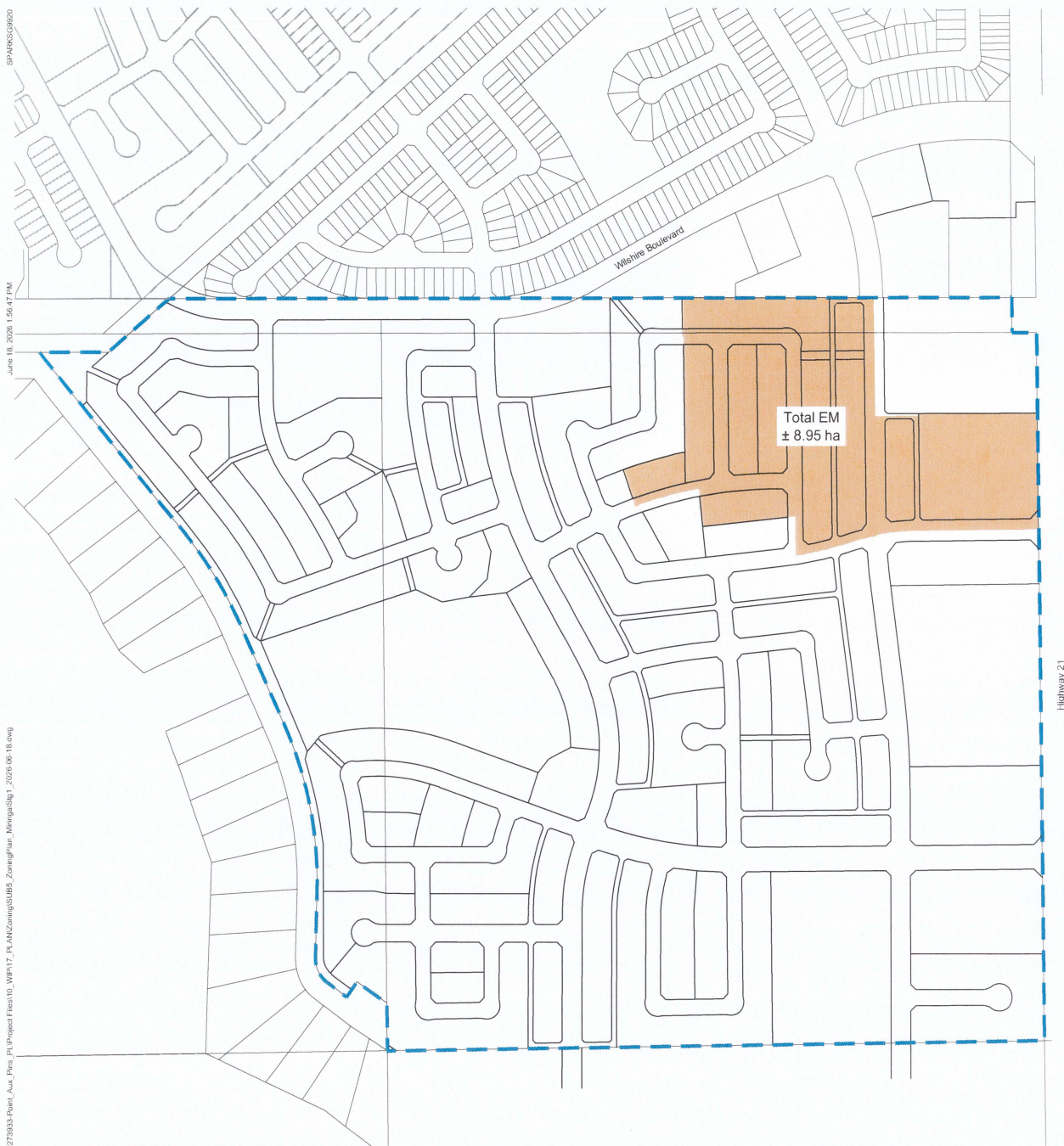
6.26.13 Additional Development Regulations

- a) Except where defined in this district, all development and uses within this Land Use District are subject to the applicable provisions of Part 5 – General Regulations for all Land Use Districts, Sections 6.1 to 6.11 of Part 6 – Residential Land Use Districts, Part 13 – Parking and Loading, and Part 14 – Signs.
- b) Residential Sales Centres may be approved for a maximum of 5 years. Subsequent Development Permits for Residential Sales Centres on the same Site may only be issued as a Discretionary Development.
- c) Setbacks may be reduced to 0.0m to address internal streets for Multi-Family sites, at the discretion of the Development Authority.
- d) Multi-Attached Housing shall not exceed four (4) units per building.
- e) Multi-Attached Housing shall not be more than 3 buildings in succession.

Appendix I – Area of Application

Appendix II – Block Layout Map

Appendix I – Area of Application



LEGEND

- Mirigal NSP Boundary
- EM Special District

ALL AREAS AND DIMENSIONS HAVE BEEN ROUNDED
LOT INFORMATION IS PRELIMINARY AND SUBJECT TO CHANGE
AND SHOULD BE CONFIRMED WITH A REGISTERED PLAN



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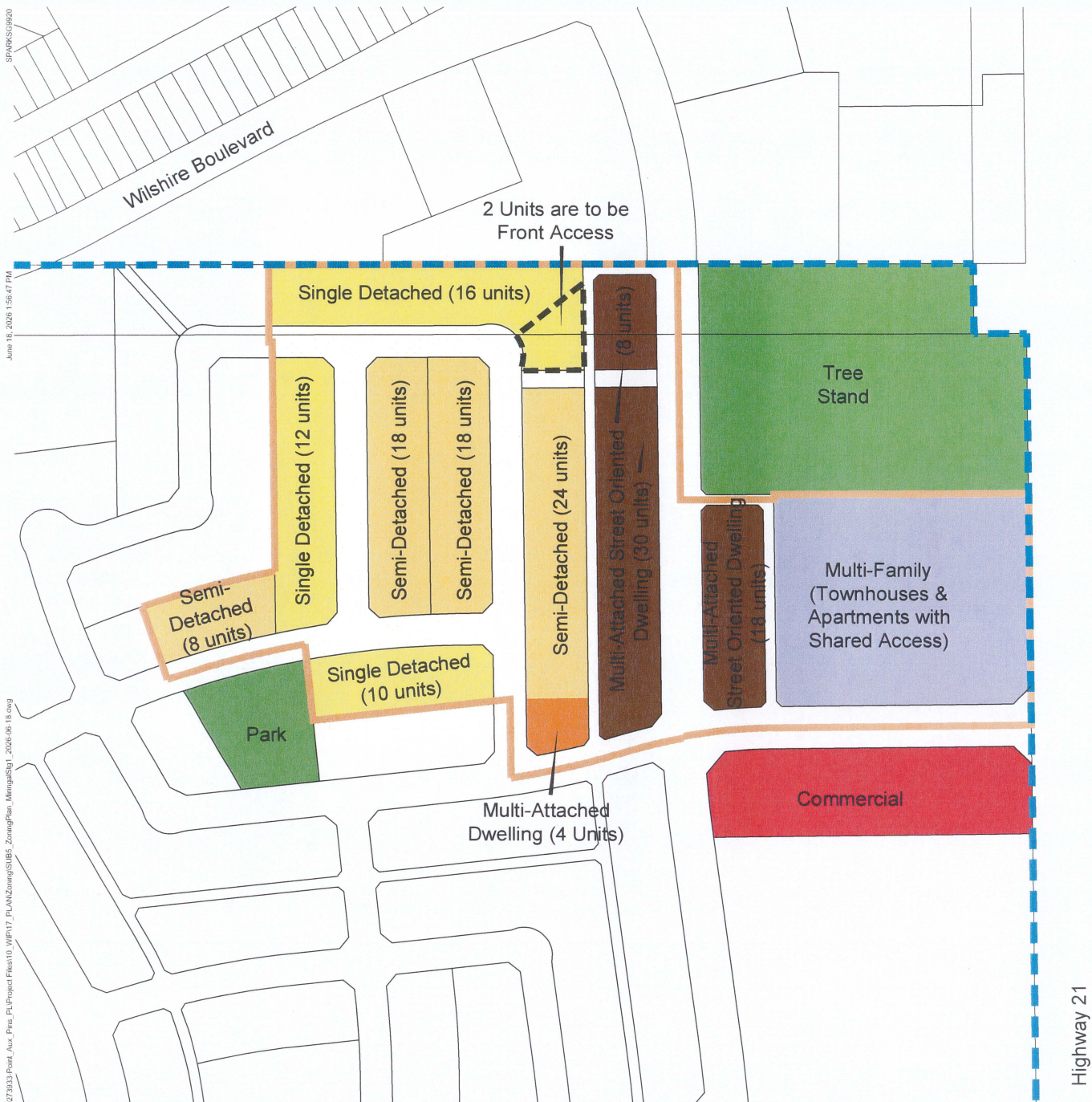
East Mirigal Special District

Appendix 1 - Area of Application

DATE: June 18, 2026
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: LH/CBB
SCALE: NTS
JOB NUMBER: 30288734



Appendix II – Block Layout Map



LEGEND

	Mirigal NSP Boundary		Multi-Attached Street Oriented Dwelling		Park & Opens Space
	Block Lines		Multi-Attached Dwelling		Commercial
	Single Detached Homes		Multi-Family (Townhouse & Apartments with Shared Access)		EM Boundary
	Semi-Detached Homes				

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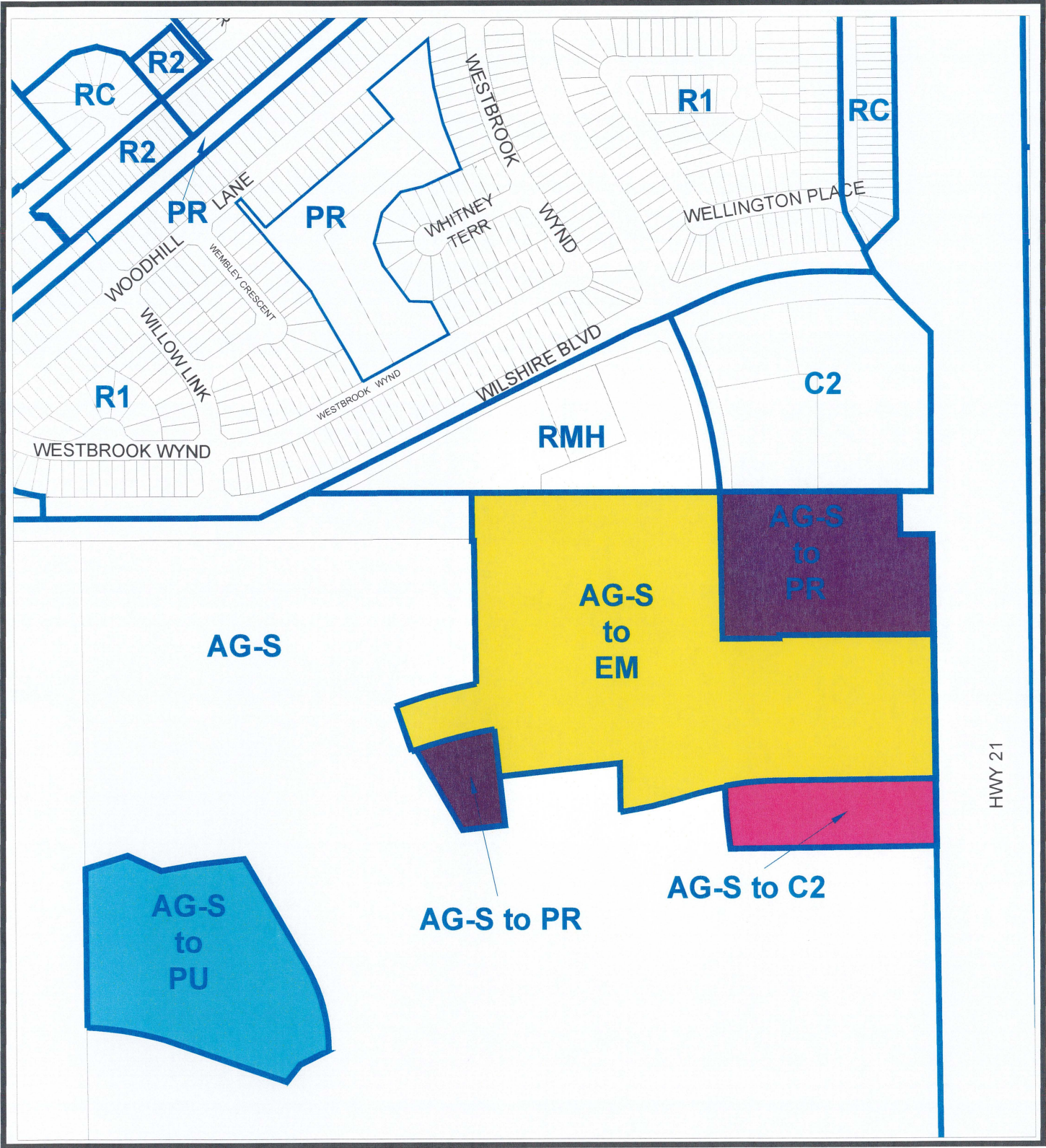
East Mirigal Special District

Appendix 2 - Block Layout Map

DATE: June 18, 2026
DESIGNED BY: GS
DRAWN BY: GS
CHECKED BY: LH/CBB
SCALE: NTS
JOB NUMBER: 30288734



Schedule "B-1"



NE13-54-23-4



AG-S to EM



AG-S to C2



AG-S to PR



AG-S to PU

