



**NOTICE OF COMPLETE APPLICATION AND OF PUBLIC MEETING
CONCERNING A PROPOSED AMENDMENT TO ZONING BY-LAW 10-04 (as amended)
OF THE TOWN OF GRAVENHURST**

Respecting an application by **Nadeem AHMED & Miriam KHAN**
to amend the zoning of lands located at **1103 Lakeshore Drive, Unit 4 (Lake Muskoka)**
(Application No. ZA 17-2026)

TAKE NOTICE THAT a complete application has been accepted under Section 34 of the Planning Act, R.S.O.1990, Chapter p. 13, as amended, regarding the above noted property.

ADDITIONALLY, TAKE NOTICE THAT the Council of the Corporation of the Town of Gravenhurst will hold a Public Meeting in relation to the application on

TUESDAY, SEPTEMBER 22nd, 2026

at 3:00 p.m. at the
Gravenhurst Municipal Offices
(Council Chambers)
5 Pineridge Gate, Gravenhurst, Ontario

THE PURPOSE of the Public Meeting will be to consider a proposed amendment to Zoning By-law 10-04 (as amended) of the Town of Gravenhurst pursuant to the provisions of Section 34 of The Planning Act, R.S.O. 1990, Chapter P.13, as amended.

THE FOLLOWING INFORMATION is attached to this notice for your information and review:

- an explanation of the Purpose and Effect of the Proposed By-law;
- a key map showing the location of the property affected by the Proposed By-law; and
- a sketch (Site Plan).

ANY PERSON OR AGENCY may attend the Public Meeting and/or make written submissions either in support or opposition to the Proposed By-law.

ALTERNATIVELY, ANY PERSON OR AGENCY may also provide verbal comments during the meeting electronically using MVI EasyConf Connect Conference System (NOT Zoom), in accordance with Section 238 of the Municipal Act and the Town's Procedural By-law.

A request to address Planning Council electronically must be completed at www.Gravenhurst.ca/PublicParticipation and **submitted prior to 12:00pm (noon) on the day before the Public Meeting**. Please note that the Public Meeting is taking place in person and any issues with electronic participation will not prevent the meeting (and a potential decision) from proceeding.

IF A SPECIFIED PERSON OR PUBLIC BODY would otherwise have an ability to appeal the decision of the Town of Gravenhurst to the Ontario Land Tribunal, but the specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Gravenhurst, before the Zoning By-law is passed, the specified person or public body is not entitled to appeal the decision.

IF A SPECIFIED PERSON OR PUBLIC BODY does not make oral submissions at a public meeting or make written submissions to the Town of Gravenhurst, before the Zoning By-law is passed, the specified person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

IF YOU WISH TO BE NOTIFIED of the decision of the Town of Gravenhurst in respect of the proposed By-law, you must make a written request to Melissa Halford, Director of Development Services

ADDITIONAL INFORMATION relating to the proposed amendment to Zoning By-law 10-04 is available from the Development Services – Planning Division. For further information, please contact Angela Ghikadis, Senior Planner, at 705-687-3412 ext. 2246 (angela.ghikadis@gravenhurst.ca) or Adam Ager, Manager of Planning Services, 705-687-3412 ext. 2224 (adam.ager@gravenhurst.ca) during office hours.

DATED at the Town of Gravenhurst this 1st day of September, 2026.

Melissa Halford, Director of Development Services.

Purpose and Effect of the Proposed Zoning By-law

Re: Application No. ZA 17-2026
AHMED, Nadeem & KHAN, Miriam
Roll No. 020-034-08500

An application was received to permit a Sleeping Cabin as shown on the attached sketches dated September 1, 2026.

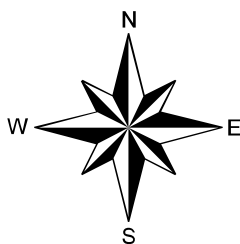
The applicants rebuilt and enlarged an existing structure and are requesting that zoning exemptions be granted to be able to convert the building to a single storey Sleeping Cabin and legalize it. Specifically, the following exemptions have been requested:

- permit a Sleeping Cabin to be setback 7.4 metres from the Optimal Summer Water Level (Lake Muskoka) where a 30.0 metre setback is required
- permit the Sleeping Cabin to have a maximum height of 6.4 metres, where 4.5 metres is permitted
- permit the Sleeping Cabin to have a maximum floor area of 49.9 square metres, where 46.5 square metres is permitted
- permit a maximum lot coverage of 17%, where 13% is permitted

The property is legally described as Part of Lot 27, Concession 9, in the former Township of Muskoka, now in the Town of Gravenhurst, District Municipality of Muskoka, being Lots 13 & 14, Plan M-265 (Zoning Grid Schedule No. C04).

The subject property is located within the “Waterfront Area” designation of the Town of Gravenhurst Official Plan.

KEY MAP



0 37.5 75 150 225 300 Meters

1:3,935

SCHEDULE

Proposed Zoning Amendment

Application No. ZA 17-2026

AHMED, Nadeem & KHAN, Miriam

Plan M265, Lots 13 and 14, (Lake Muskoka)

in the former Township of Muskoka

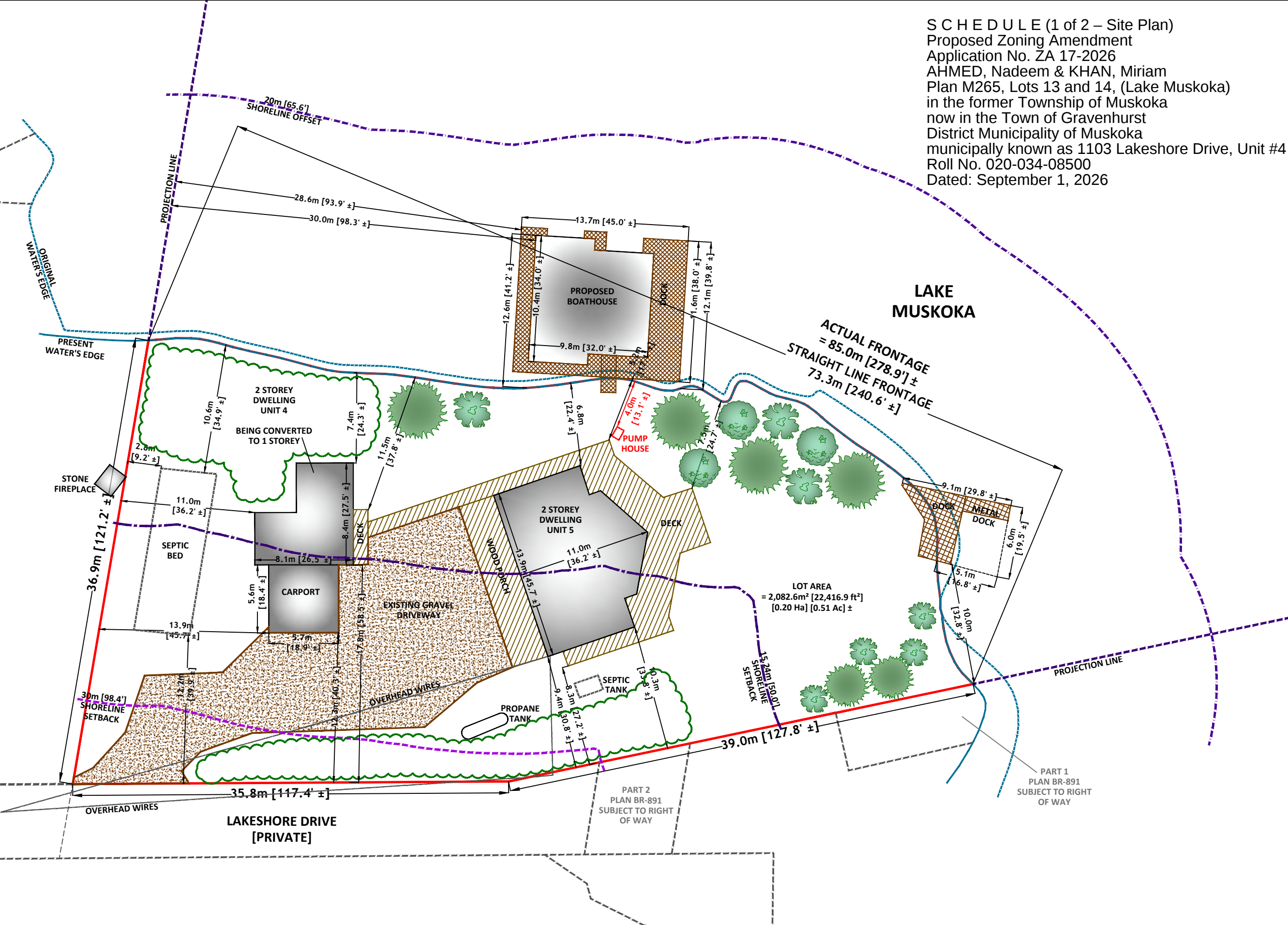
now in the Town of Gravenhurst

District Municipality of Muskoka

municipally known as 1103 Lakeshore Drive, Unit #4

Roll No. 020-034-08500

Dated: September 1, 2026



SCHEDULE (1 of 2 – Site Plan)
Proposed Zoning Amendment
Application No. ZA 17-2026
AHMED, Nadeem & KHAN, Miriam
Plan M265, Lots 13 and 14, (Lake Muskoka)
in the former Township of Muskoka
now in the Town of Gravenhurst
District Municipality of Muskoka
municipally known as 1103 Lakeshore Drive, Unit #4
Roll No. 020-034-08500
Dated: September 1, 2026

SITE PLAN - PROPOSED

1103 LAKESHORE DRIVE, UNIT 4 & 5
LOTS 13 & 14, REGISTERED PLAN M-265
PART OF LOT 27, CONCESSION 9
GEOGRAPHIC TOWNSHIP OF MUSKOKA
TOWN OF GRAVENHURST
DISTRICT MUNICIPALITY OF MUSKOKA

NADEEM

LOT AREA = 2,082.6m² [22,416.9 ft²]
[0.20 Ha] [0.51 Ac] ±

DEVELOPMENT INFORMATION
DWELLING (UNIT 4) = 54.0m² [581.3 ft²]
CARPORT = 32.0m² [344.4 ft²]
DECK = 5.4m² [58.1 ft²]

DWELLING (UNIT 5) = 125.0m² [1,345.5 ft²]
PORCH = 42.0m² [452.1 ft²]
DECK = 95.5m² [1,028.0 ft²]

DOCK = 19.4m² [208.8 ft²]
METAL DOCK = 4.7m² [50.6 ft²]

BOATHOUSE = 92.2m² [992.4 ft²]
DOCK = 63.3m² [681.4 ft²]

THIS DRAWING IS INTENDED SOLELY FOR
ILLUSTRATIVE PURPOSES.

THE BASE MAPPING HAS BEEN COMPILED
FROM EXTERNAL SOURCES, AND THE
INFORMATION DEPICTED IS APPROXIMATE IN
NATURE.

THIS DOCUMENT DOES NOT REPRESENT A
PLAN OF SURVEY AND SHALL NOT BE USE,
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SCALE	PROJECT NO.	DATE	BY
1 : 300	185600	JULY 28, 2026	JT

BASE MAP SOURCE:
DEARDEN AND STANTON LTD. 2025



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A-1 BUNKIE AND CAR PORT WATER FRONT ELEVATION

SCHEDULE (2 of 2 – Elevation)
 Proposed Zoning Amendment
 Application No. ZA 17-2026
 AHMED, Nadeem & KHAN, Miriam
 Plan M265, Lots 13 and 14, (Lake Muskoka)
 in the former Township of Muskoka
 now in the Town of Gravenhurst
 District Municipality of Muskoka
 municipally known as 1103 Lakeshore Drive, Unit #4
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