

1 General

The following amendments are hereby made an integral part of the Contract Documents for the above project, including all applicable sub-contractors affected.

1.1 NOTES

- .1 Indicate the receipt of this Addendum on the specified Tender Form as required.
- .2 Included attachments are as follows:
 - .1 On-Site Sewage System Building Permit. (5 pages, 8.5x11" size).
 - .2 Architectural drawing AD3.0, AD3.1 and AD3.2. (3 pages, 11x17" size).

1.2 GENERAL CLARIFICATIONS

- .1 The permit has been applied for and paid for.
- .2 Septic per the attached the 'On-Site Sewage System Building Permit' for details regarding new septic storage tank, setbacks from property lines and full septic system.

2 Amendments

2.1 PROJECT MANUAL SPECIFICATIONS

- .1 Refer to Specifications Section 07481 Preformed Metal Cladding; Paragraph 2.1 Materials
 - .1 Refer to Sentence .1 Prefinished Metal Cladding Systems.

ADD: ".10 Contractor to provide fascia, corner trim, cove trim, moulded trims soffit per the architectural details and colours listed in the architectural drawings and attached sketch AD3.2.

2.2 PROJECT DRAWINGS

- .1 Drawing 0.1, OBC Matrix, Assembly Schedules, Door, Frame and Window Schedule and Elevations Room Finish Schedule, And Typical Washroom Interior Elevations
 - .1 Change all exterior doors to metal (steel) clad wood doors with wood frames, prefinished, with weatherstripping and aluminum thresholds. Provide threshold extensions where needed to span insulation etc. Provide barrier free approved threshold for universal washroom.
- .2 Drawing A1.0, Overall Site Plan

- .1 All new unit paver sidewalk along edge of existing megadome structure to be installed with a 152mm gap between sidewalk and building edge. Refer to sketch AD3.1 for details at entrance landings.
- .3 Drawing A1.1, Partial Site Plans
 - .1 Extent and location of stone dust pathways to be clarified per attached sketch AD3.0.
 - .2 Revised hardscaping between existing dome and new hub structure per attached sketch AD3.1.

2.3 MECHANICAL AND ELECTRICAL

- .1 None.

End of Addendum

BUILDING PERMIT

THIS WORK IS AUTHORIZED



**NORTH BAY - MATTAWA
CONSERVATION
AUTHORITY**

06-ST-26

NBMCA OFFICE USE ONLY	
Inspected and recommended by 	Approved by 
Date June 22, 2026	
Permit expiration date June 22, 2027	

Rev. 03/25

Property address 11 Buckhaven Road

Schedule 4: Design Criteria

DESCRIPTION	DWELLING #1		BOATHOUSE		SLEEPING CABIN		Other: <u>Hub</u>		# UNITS PER FIXTURE	FIXTURE UNITS
	Existing	Proposed	Existing	Proposed	Existing	Proposed	Existing	Proposed		
Bathroom group (toilet, sink, tub/shower)									x 6 =	0
Additional toilet								3	x 4 =	12.0
Bathtub or shower(*)									x 1.5 =	0.0
Additional sinks(**)								3	x 1.5 =	4.5
Kitchen sink(**)									x 1.5 =	0.0
Dishwasher									x 1 =	0.0
Washing machine									x 1.5 =	0.0
Laundry tub									x 1.5 =	0.0
Other: _____										0.0
FIXTURE UNITS	0.0		0.0		0.0		16.5		Total:	16.5
FINISHED FLOOR AREA		m ²		m ²		m ²		45.8 m ²	Total:	45.80 m²
# OF BEDROOMS									Total:	0

* Tub/shower combos count as 1.5 units

** Sinks whether double or single count as 1.5 units

Assembly Hall (a) no food services 8L/seat = 8x100= 800L/day

DESIGN FLOW CALCULATION TABLE				
Residential Occupancy			Volume (L)	Flows
Bedroom flow (A)	1 bedroom dwelling		750	
	2 bedroom dwelling		1100	
	3 bedroom dwelling		1600	
	4 bedroom dwelling		2000	
	5 bedroom dwelling		2500	
Extra bedroom flow (B)	Each bedroom over 5,		500	0
Living area flow (C)	Each 10 m ² (or part thereof) over 200 m ² up to 400 m ² ,		100	0
	Each 10 m ² (or part thereof) over 400 m ² up to 600 m ² , and		75	0
	Each 10 m ² (or part thereof) over 600 m ² , or		50	0
Fixture count flow (D)	Each fixture unit over 20 fixture units		50	0

Daily Design Sewage Flow, Q = 800 liters/day A + (B or C or D)



APPROVED _____ NOT APPROVED _____

OFFICE USE ONLY

DATE: June 22, 2026

Property address 11 Buckhaven Road

Schedule 5: Proposal to Construct

Propose to install a Class 4F sewage system to serve community hub
(construct, install, alter, extend, enlarge, replace, etc.) (facility: e.g. single family dwelling, motel, etc.)

Is the land currently vacant? YES ☒ NO Additions / renovations proposed? ☒ YES NO

If replacing, is there a permit for the system on the property? YES NO Permit # _____

Is the existing system failing? YES NO Explain: _____

Is there more than one system on the property? YES ☒ NO Permit # _____

Will the proposed system service more than one building? YES ☒ NO List: _____

Provide **proposed** information rather than minimum requirements:

☐ Class 2 Greywater Pit ☐ Class 3 Cesspool (For flow calculations see OBC Part 8, 8.4.1.2(2): Q cannot exceed 1000 L/D)

Type of Class 1 on site: ☐ Privy ☐ Composting ☐ Chemical ☐ Other: _____

Wall structure: ☐ Cement block ☐ Rock ☐ Wood ☐ Other: _____

Sidewall area: _____ m² Length: _____ m Width: _____ m Depth: _____ m Type of cover: _____

☒ Septic Tank ☐ Class 5 Holding Tank ☐ Treatment Unit ☐ Digester Tank

☒ New ☐ Use existing Size _____ Permit # _____ ☐ Level II ☐ Level III ☐ Level IV

Proposed working capacity: _____ 3600 Liters Make / Model of treatment unit: _____

T-time (min/cm): 10 Method of subsurface detection: metal Pump required? ☒ No ☐ Effluent ☐ Raw ☐ TBD

☒ Class 4F Filter Bed Number of beds: 1 Bed area: 12.0 m²
Raised height (above grade): 0 m Contact Area: 12.0 m²

Mantle loading area: 80 m² ☒ Native ☐ Imported Length 17 m x Width 4.8 m

☐ Class 4 Trench Bed Total length: _____ m Raised height (above grade): _____ m

Mantle loading area: _____ m² ☐ Native ☐ Imported Length _____ m x Width _____ m

☐ Type A / B Stone area: _____ m² Sand area: ☐ Native (supply sieve analysis) ☐ Imported
Sand area: _____ m² Raised height (above grade): _____ m

☐ SBT / BNQ / BMEC /
Other (Fill accordingly)

 APPROVED _____ NOT APPROVED _____

OFFICE USE ONLY

DATE: June 22, 2026



FULL CIRCLE
Septic Design



Hwy 124

property line

property line

92m

Buckhaven Road

Parking
area

drive

EXISTING MEGA DOME STRUCTURE

proposed
washroom
building

5m

15m existing MLA

59m to PL

14m

24m

186m to PL

property line

existing drilled well



NORTH BAY-MATTAWA
CONSERVATION AUTHORITY

PERMIT 06-ST-26 SCH. 6

APPROVED:  DATE: June 22, 2026

DESIGNER ON FILE: Crystal Barnes

INSTALLER ON FILE: _____



SCALE 1:14

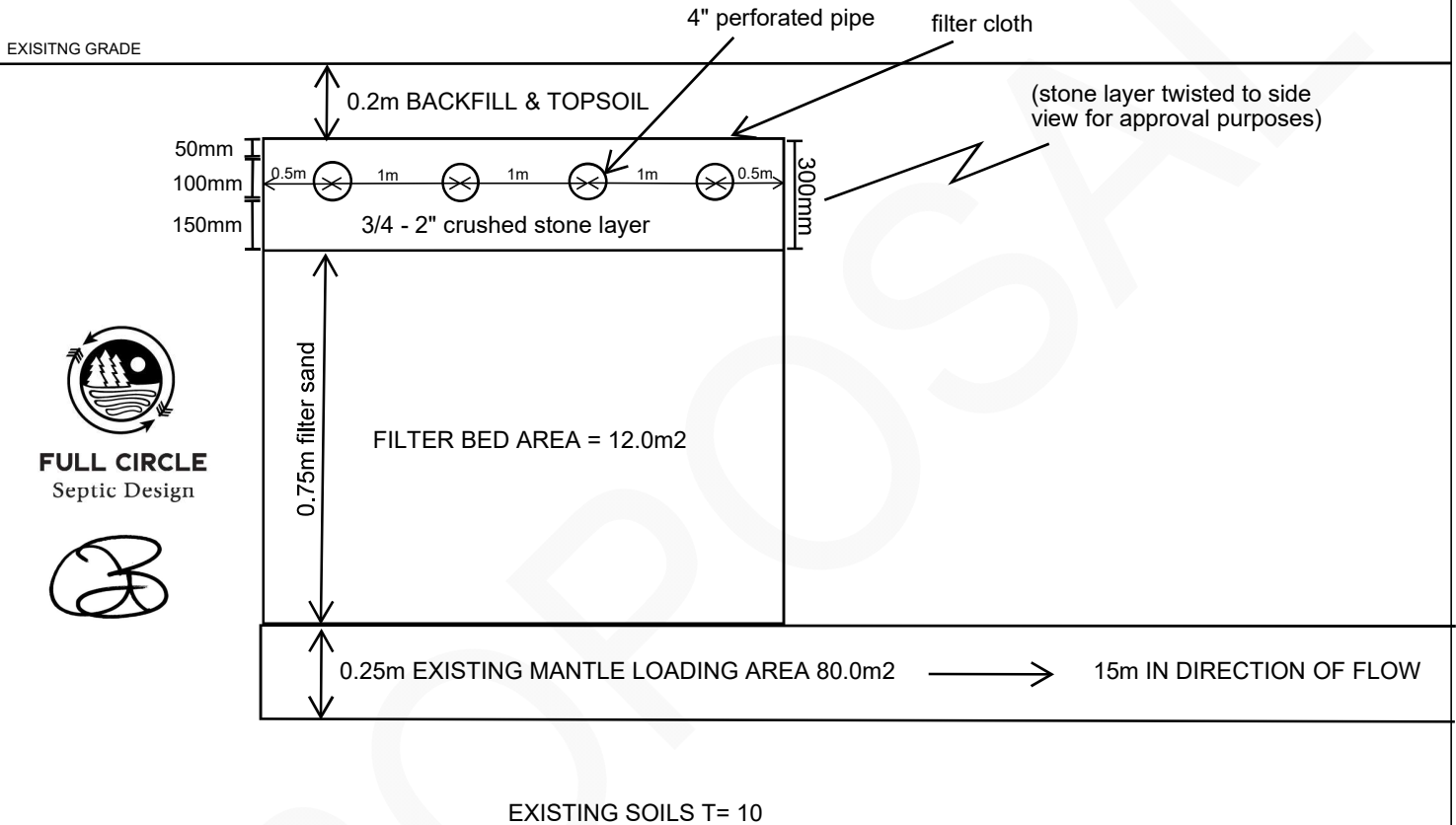
Property address 11 Buckhaven Road

Schedule 7: Cross Sectional Diagram

Designer on file: Crystal Barnes

Installer on file:

In Ground Filter Bed - 4 runs @ 2m long



DRAWING REQUIREMENTS: PLEASE CHECK (IF ATTACHING A SEPARATE CROSS SECTION PLEASE ENSURE THESE ARE INDICATED)

☐ 1 Copy of Cross-Sectional Diagram Submitted

- ☐ Property owners name and property address (civic);
- ☐ Depth of topsoil;
- ☐ Depth of crushed stone;
- ☐ Depth of filter medium used;
- ☐ Depth and dimensions of contact area required;
- ☐ Depth to bedrock/groundwater table;
- ☐ Depth to hardpan/soils T-time >15min/cm;
- ☐ Height above/below existing grade of ground surface;
- ☐ Show side slopes of bed/mantle;
- ☐ Existing grade/finished grade; and
- ☐ Distance between pipes.

Depth to bedrock/GWT/
hardpan/soils T-time >50: _____ >0.9 m

Check appropriate: ☒ Dug In ☐ Raised ☐ 3 sides open

Proposed raised height above existing grade : _____ 0 m

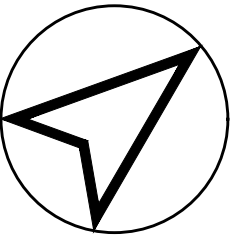
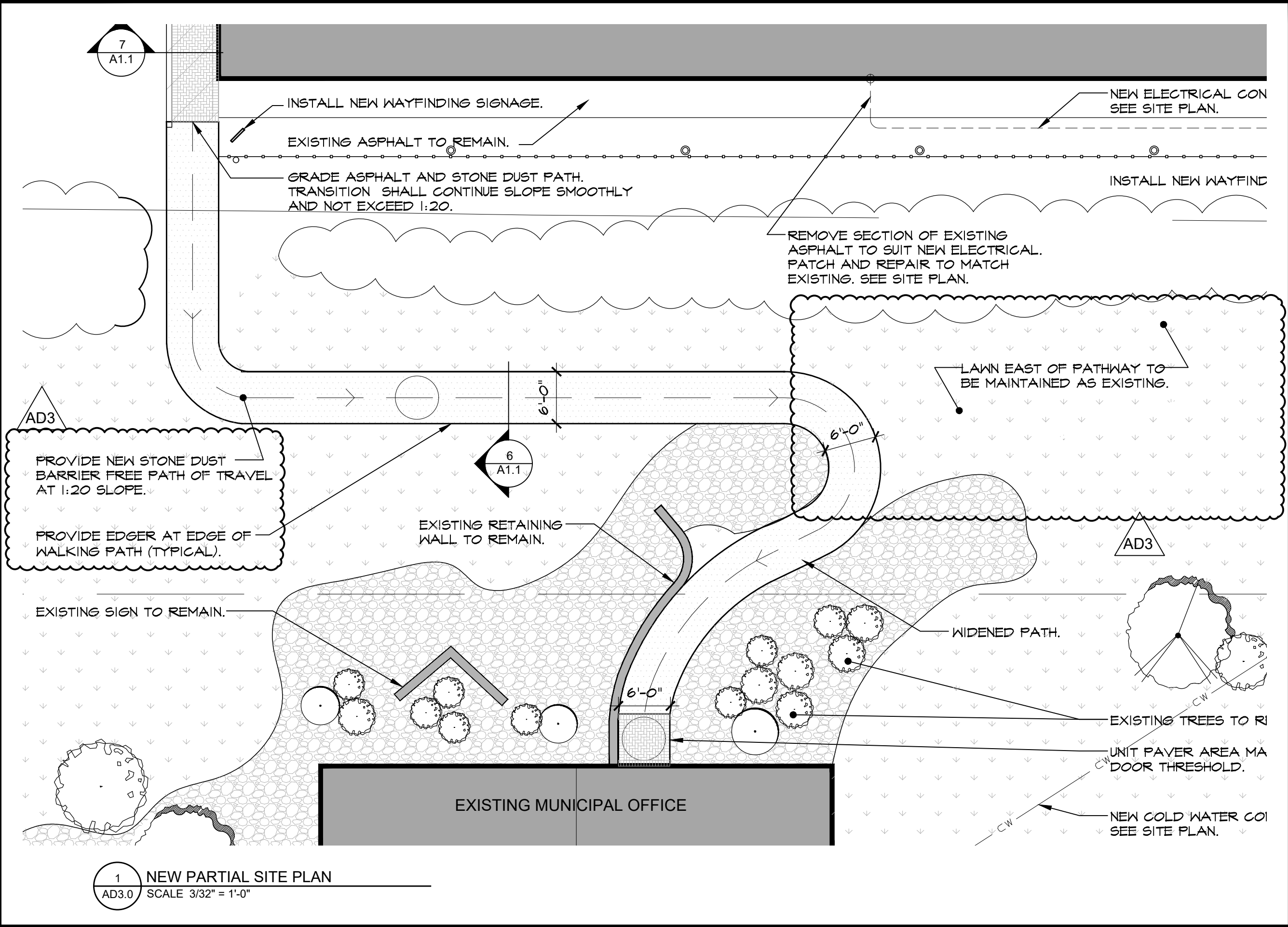
Existing grade: _____ 0

Finished side slope ratio: _____ 0

APPROVED _____ NOT APPROVED

OFFICE USE ONLY

DATE: June 22, 2026



Bertrand Wheeler architecture inc.
528 Cassells Street, North Bay, ON P1B 3Z7 tel: 705-472-0988 fax: 705-472-2486

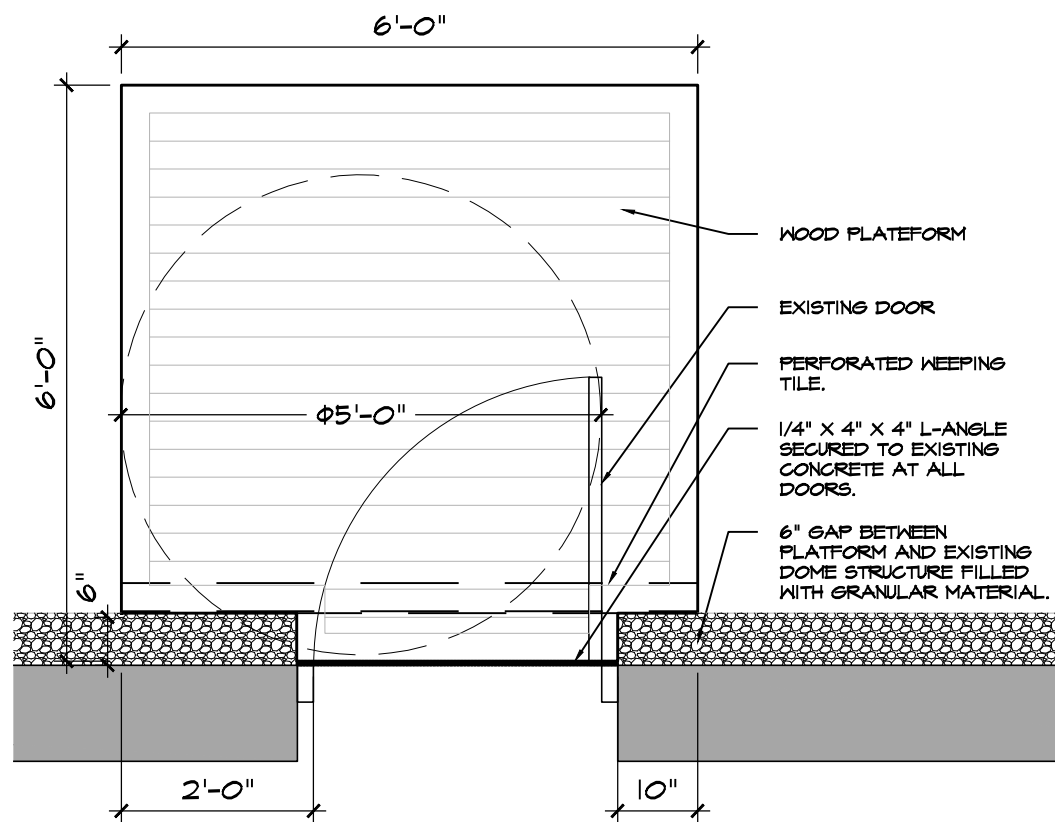
project: **ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB**
28 MUNICIPAL LANE
SUNDRIDGE, ONTARIO

title: PARTIAL SITE PLANS
STONE DUST PATH CLARIFICATION

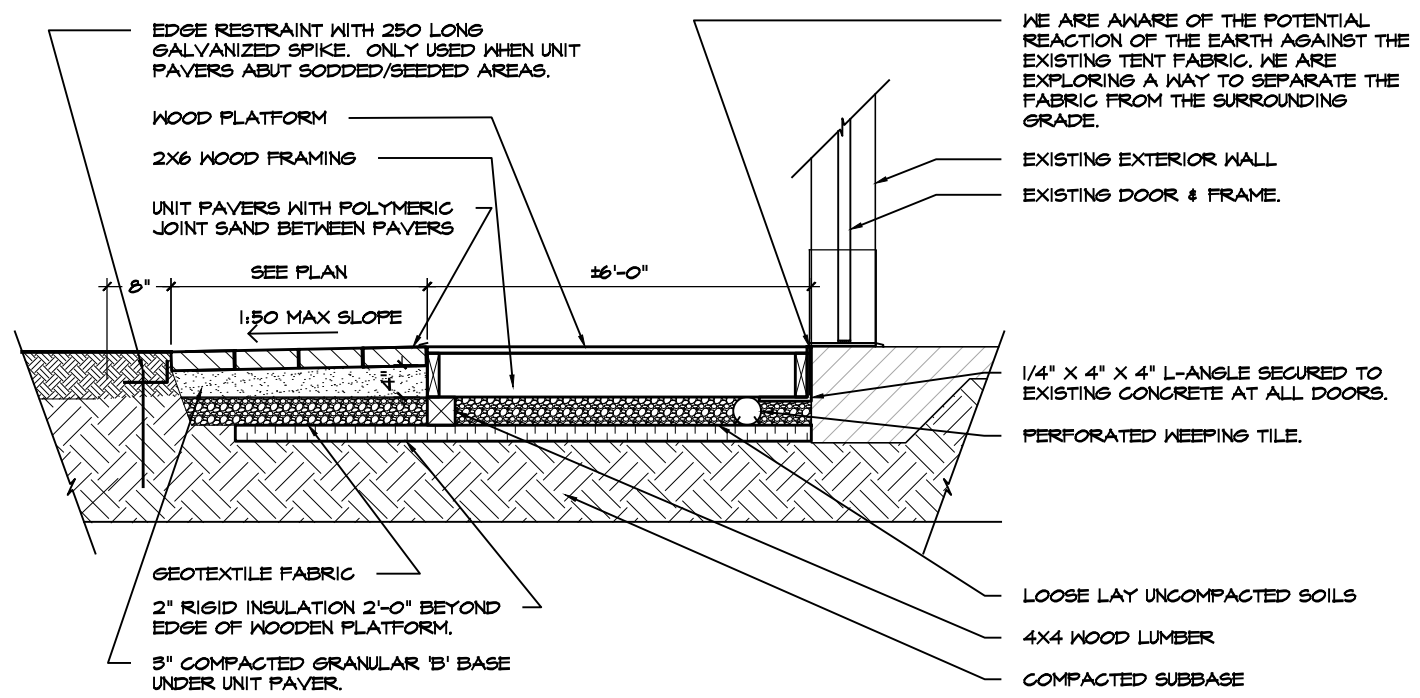
drawn by:	checked by:
AL	MW
scale:	project no:
3/32"=1'-0"	2503

revision date:
September 11, 2026

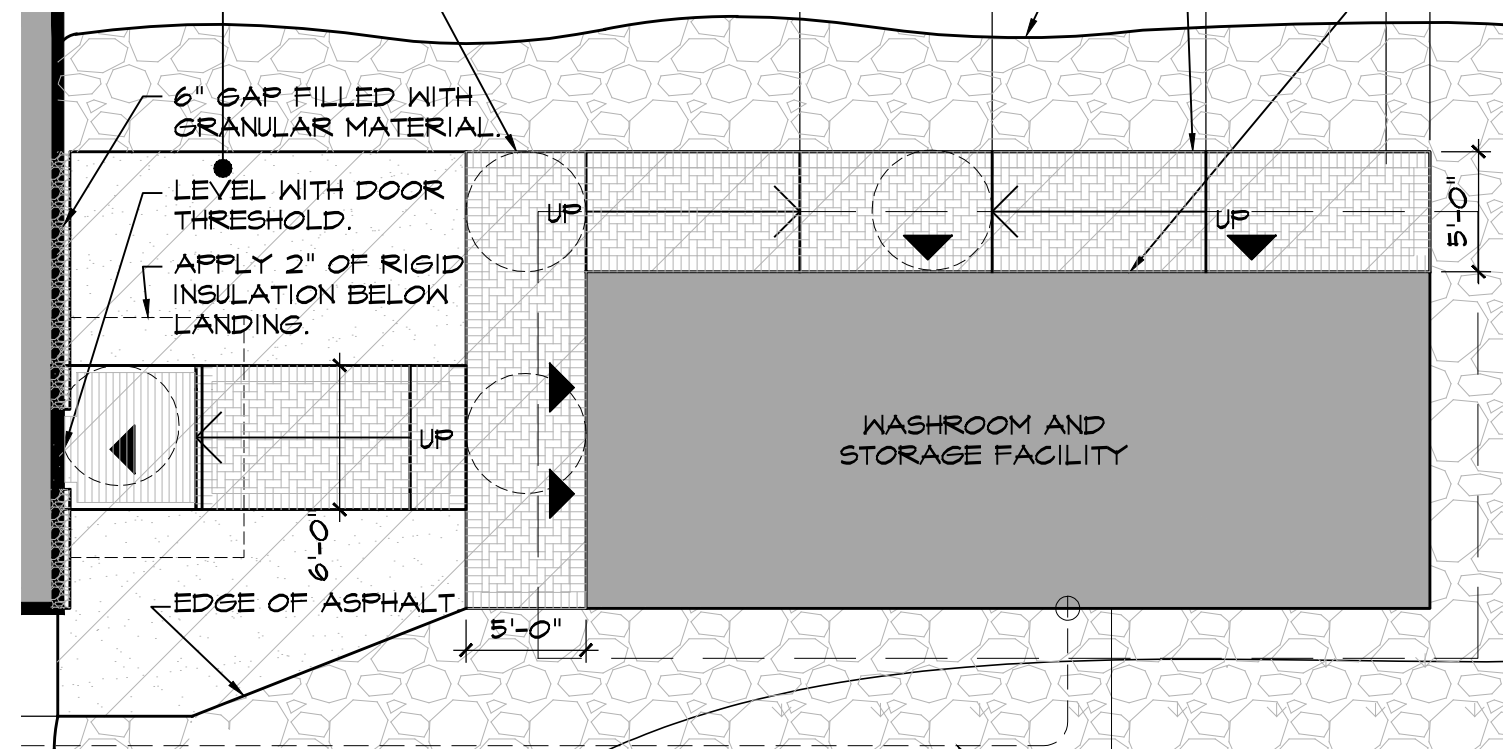
dwg no:
AD3.0



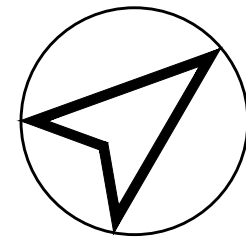
1 PROPOSED ENTRANCE LANDING PLAN
AD3.1 SCALE 1/2" = 1'-0" PLAN



2 PROPOSED ENTRANCE LANDING SECTION
AD3.1 SCALE 1/2" = 1'-0"



3 PROPOSED AREA OF HARDSCAPING
AD3.1 SCALE 1/8" = 1'-0"



Bertrand Wheeler architecture inc.
528 Cassells Street, North Bay, ON P1B 3Z7 tel: 705-472-0988 fax: 705-472-2486

project:
ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB
28 MUNICIPAL LANE
SUNDRIDGE, ONTARIO

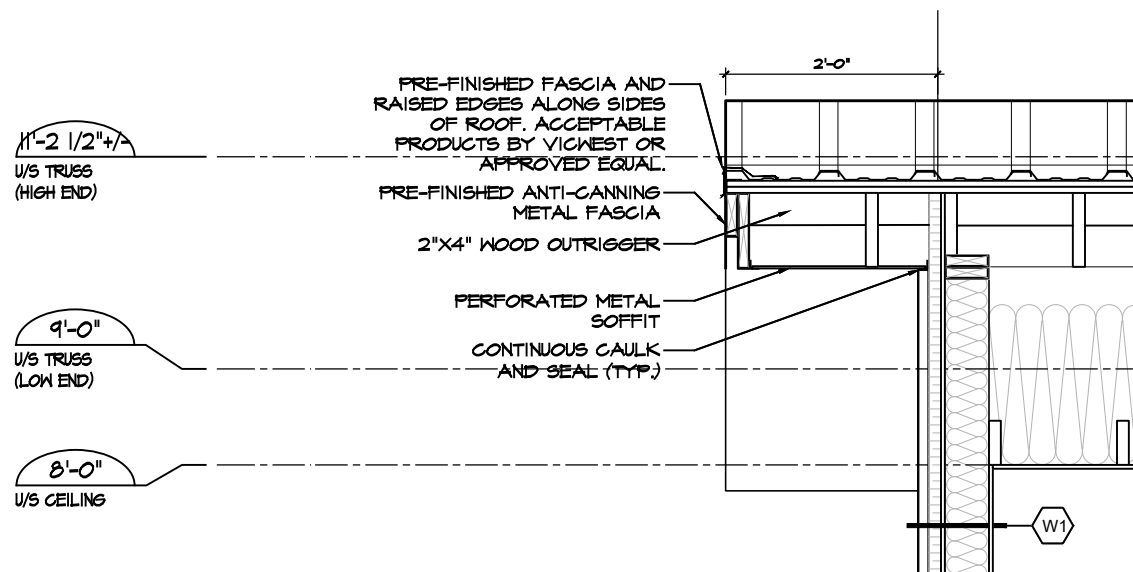
title: PARTIAL SITE PLANS AND DETAILS
BARRIER FREE PATHWAY AT ENTRANCES

drawn by: AL	checked by: MW
scale: 3/32"=1'-0"	project no: 2503

revision date:
September 11, 2026

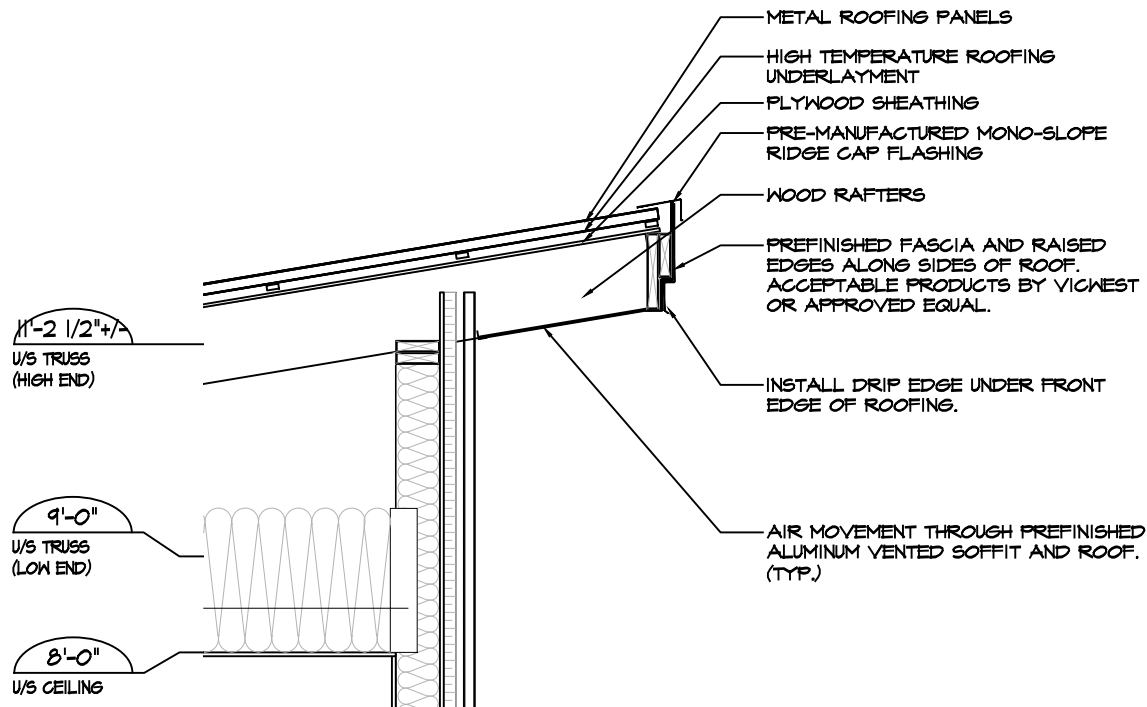
dwg no:

AD3.1



1 ROOF OVERHANG DETAIL
A1.2 SCALE 1/2"=1'-0"

- COLOURS**
- FASCIA COLOUR TO MATCH THE FOLLOWING:
 - CORNER TRIMS
 - BASE TRIMS
 - TRIMS AROUND FENESTRATION
 - FASTENERS
 - GUTTERS
 - SIDING COLOUR TO MATCH THE FOLLOWING:
 - PAINTED VENTS
 - DOWNSPOUTS



2 FASCIA DETAIL
AD1.2 SCALE 1/2"=1'-0"

Bertrand Wheeler architecture inc.

528 Cassells Street, North Bay, ON P1B 3Z7 tel: 705-472-0988 fax: 705-472-2486

project: **ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB**
28 MUNICIPAL LANE
SUNDRIDGE, ONTARIO
title: ELEVATION AND SECTION DETAILS
ROOFING DETAILS

drawn by: AL	checked by: MW
scale: 1/2"=1'-0"	project no: 2503
revision date: September 11, 2026	

dwg no:
AD3.2