

ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB

TOWNSHIP OF STRONG
28 MUNICIPAL LANE, SUNDRIDGE, ONTARIO

ISSUED FOR PERMIT, TENDER AND CONSTRUCTION

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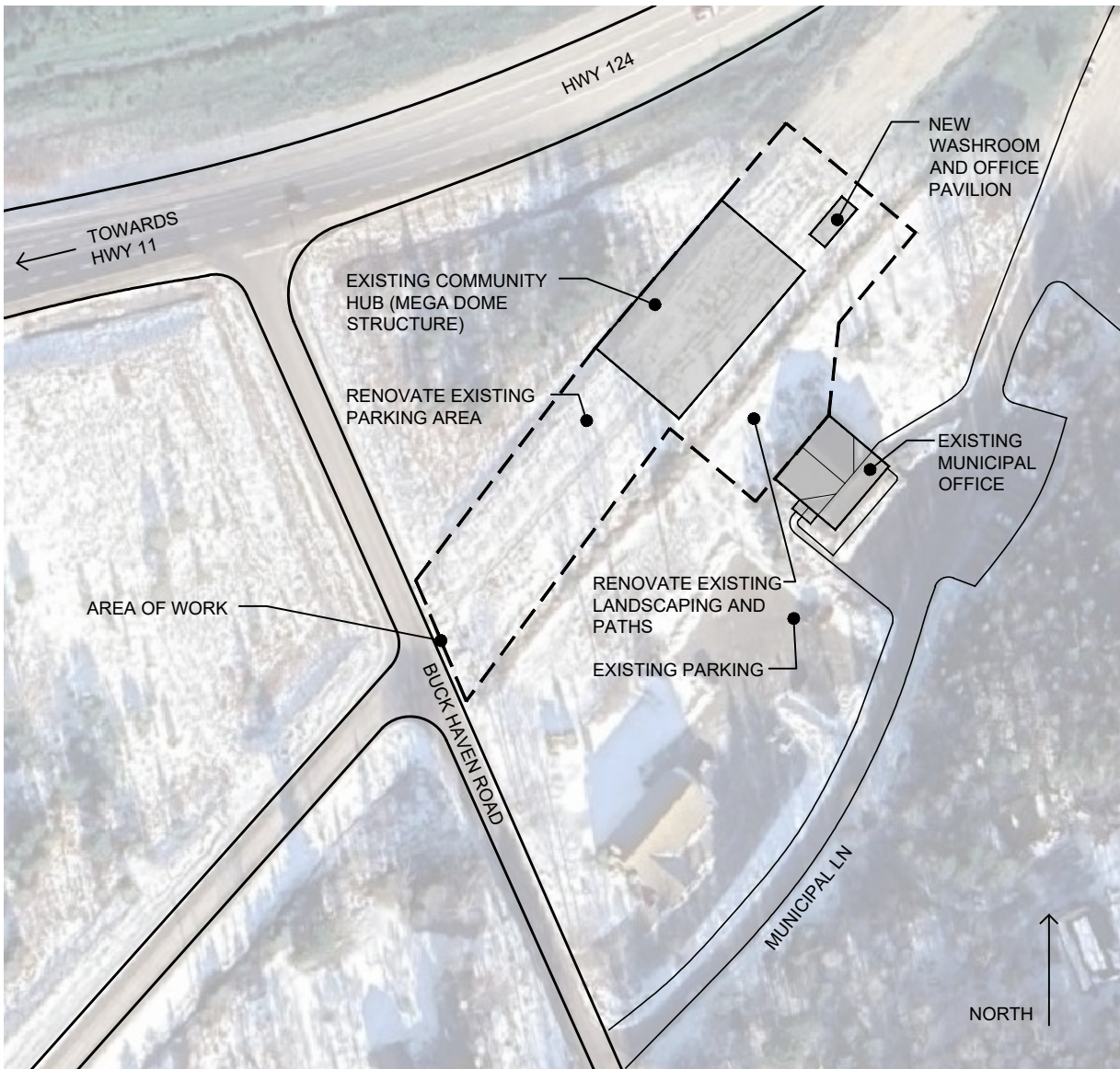
NOTE: ALL NOTES WITHIN DASHED LINES HAVE
BEEN PROVIDE BY THE CONSULTANT ENGINEER.

GREENER EARTH ENGINEERING & DESIGN

322 RIPPLE LANE
HUNTSVILLE, ONTARIO, P1H 2K6
TEL: 705-571-1751

Bertrand Wheeler architecture inc.

528 Cassells Street, North Bay, ON P1B 4S5
tel: 705-472-0988 fax: 705-472-2486
www.bertrandwheeler.ca



1
A0.0
KEY PLAN
SCALE NTS

REFLECTED CEILING PLAN LEGEND:

- ACT @ (2800) DENOTES CEILING MATERIAL AND HEIGHT ABOVE FINISHED FLOOR (AFF)
- GWB @ (2800) HATCHING DENOTES GYPSUM CEILING. (REFER TO FINISH SCHEDULE). PAINT FINISH UNLESS OTHERWISE NOTED.
- Lighting fixtures - varied styles (COORDINATE WITH ELECTRICAL)
- HVAC CEILING DIFFUSERS, RETURN AIR GRILLES, ETC. COORDINATE WITH MECHANICAL.
- SD SMOKE/FIRE/HEAT DETECTOR
- EMERGENCY LIGHTING
- EXTERIOR WALL MOUNTED LIGHT

2
A0.0
LEGENDS
SCALE NTS

GENERAL LEGEND:

- NEW WALL, PARTITION, FURRING. SEE ASSEMBLY TYPES FOR EXACT CONSTRUCTION.
- NEW INSULATED WALLS, PARTITIONS, FURRINGS FOR ACOUSTICAL AND/OR FIRE RATINGS.
- NEW DOOR AND FRAME
DOOR NO. (SEE DOOR & FRAME SCHEDULE)
- NEW FRAME (SCREEN)
SCREEN NO. (SEE DOOR & FRAME SCHEDULE)
- DETAIL DRAWING NO.
DRAWING TITLE
DRAWING SCALE
SHEET NO.
- DETAIL DRAWING NO.
SHEET NO.
- ELEVATION DRAWING #
SHEET NO.
- SECTION DRAWING NO.
SHEET NO.
- WINDOW NO.
CURTAIN WALL NO. (SEE TYPICAL WINDOW SCHEDULE)
- TYPICAL ASSEMBLY NO. (REFER TO ASSEMBLY SCHEDULES)
- ROOM NAME & NUMBER (SEE ROOM FINISH SCHEDULE)
- NOTES AREA OF WORK, REFERENCE OR DETAIL
- BARRIER-FREE CLEARANCES REQUIRED BY OBC OR CSA (RADIUS MAY VARY)
- OUTLINE OF BUILDING ELEMENTS ABOVE OR BELOW
- FLOOR DRAIN. COORDINATE WITH PLUMBING.

1
A0.0

FD
O

GENERAL NOTES:

- DO NOT SCALE FROM THE DRAWINGS.
- READ ALL DRAWINGS IN CONJUNCTION WITH ALL SPECIFICATIONS, DRAWINGS AND DOCUMENTS FROM ALL CONSULTANTS. PROMPTLY NOTIFY THE CONSULTANT OF ANY CONCERNS OR QUESTIONS REGARDING CONFLICTS.
- PROMPTLY REPORT ALL DRAWING DISCREPANCIES TO THE CONSULTANT.
- ARCHITECTURAL CONTACT INFO:
MARCUS WHEELER
BERTRAND WHEELER ARCHITECTURE INC.
705-472-0188
MARCUS@BERTRANDWHEELER.CA
- OWNER CONTACT INFO:
DEREK HNATUK
TREASURER & TAX COLLECTOR
TOWNSHIP OF STRONG 28 MUNICIPAL LANE, SUNDRIDGE, ON
PH. 705-584-5814 FAX 705-584-5814
EMAIL: TREASURER@STRONGTOWNSHIP.COM

SCOPE OF WORK:

THE FOLLOWING IS A BRIEF SUMMARY FOR OVERALL DESCRIPTIONS ONLY. REFER TO DOCUMENTS FOR FULL SCOPE

- CONSTRUCT NEW WASHROOM AND HUB ATTENDANT FACILITY AT EXISTING HUB.
- PROVIDE NEW WALKWAYS FROM EXISTING REAR WALKWAY OF COMMUNITY HUB (MEGA DOME STRUCTURE) TO THE NEW WASHROOM AND STORAGE FACILITY C/W BARRIER FREE PATH OF TRAVEL.
- CONSTRUCT NEW BARRIER-FREE PATH OF TRAVEL FROM THE HUB PARKING LOT TO THE MUNICIPAL OFFICE BASEMENT ENTRANCE AND RELATED LANDSCAPING WORK.
- COMPLETE BIOHAZARD CLEANUP INSIDE THE MEGA DOME STRUCTURE.
- THE MUNICIPAL OFFICE IS INTENDED TO REMAIN OCCUPIED DURING ENTIRE CONSTRUCTION. COORDINATE WORK TO AVOID DISRUPTIONS AND INCONVENIENCE TO OCCUPANTS. ENSURE SAFETY AND SAFE EGRESS FOR OCCUPANTS AT ALL TIMES.
- MAINTAIN SITE SERVICES, ELECTRICAL AND WATERTIGHT STRUCTURE AT ALL TIMES.
- PERFORM WORK CONTINUOUSLY TO COMPLETION. NO PERIOD OF INACTIVITY WILL BE ACCEPTED
- OWNER SELECTION. COORDINATE ALL EQUIPMENT, FINISHES, COLOURS, ETC WITH OWNER PRIOR TO PURCHASING PRODUCTS.

BUILDING CODE NOTES:

- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE / REGULATIONS AND LOCAL AUTHORITIES. OBTAIN THE BUILDING AND OCCUPANCY PERMITS AND ARRANGE ALL INSPECTIONS.
- THE BUILDER SHALL APPLY, ARRANGE AND PAY FOR THE PERMITS. THIS INCLUDES BUT NOT LIMITED TO BUILDING, SITE, ETC.
- EXISTING OVERALL BUILDING AREAS ARE AS INDICATED.
- OCCUPANCY(S) INCLUDE:
 - GROUP D, OFFICES (MUNICIPAL OFFICE)
 - GROUP A2 (COMMUNITY HUB AND WASHROOMS).
 - WASHROOMS ARE CONSIDERED ACCESSORY TO GROUP A2, BUT DESIGNED AS A GROUP D STRUCTURE UNDER PART 9 OF THE OBC.
- THE WASHROOM AND HUB ATTENDANT FACILITY WILL BE A SEASONAL BUILDING AND WILL HAVE ITS OWN SEPTIC BED.
- A BARRIER-FREE PATH OF TRAVEL FROM THE EXISTING COMMUNITY HUB TO THE MUNICIPAL OFFICE BASEMENT AND WASHROOM AND STORAGE FACILITY, WILL BE CONSTRUCTED IN CONFORMANCE WITH SECTION 3.8 OF THE ONTARIO BUILDING CODE. GRADES ALONG ALL PATHS NOT TO EXCEED 1:20 SLOPE.
- OCCUPANT LOAD FOR THE COMMUNITY HUB SHALL BE LIMITED TO 50 PERSONS.
 - (X3) WATER CLOSETS WILL BE PROVIDED.
 - (X1) WILL BE A UNIVERSAL WASHROOM.
 - IN THE EVENT OF LARGER OCCUPANT LOADS, ADDITIONAL WASHROOMS MAY BE REQUIRED.
- CONTRACTOR TO COMMUNICATE AND WORK WITH MUNICIPALITY ON THE WATER SHUT OFF REQUIREMENTS DURING THE FREEZING SEASON.
- STRUCTURAL LOADS AND ENERGY REQUIREMENTS ARE CALCULATED BASED UPON SB-10, CLIMATIC ZONE 1 FOR SUNDRIDGE, ONTARIO.
- STRUCTURAL MEMBERS SIZED ACCORDING TO SNOW LOAD OF 25kN.
- ALL PENETRATIONS THRU REQUIRED FIRE SEPARATIONS SHALL BE FIRE STOPPED AND OR FIRE CAULKED AS REQUIRED BY CODE TO MAINTAIN THE FIRE SEPARATIONS AS INDICATED ON DRAWINGS.

SURVEY INFORMATION:

- NO OFFICIAL SURVEY WAS MADE AVAILABLE. SURVEY INFORMATION IS ESTIMATED FROM OWNER PROVIDED MAPS, TAX INFO AND AERIAL IMAGERY.
- EXISTING GRADE INFORMATION: LOCATIONS AND VALUES OF EXISTING GRADES ARE APPROXIMATE (±/-). ALL VALUES ARE RELATED TO THE EXISTING FLOOR LEVELS ARE ESTIMATED. CONFIRM MEASUREMENTS ON SITE PRIOR TO START OF WORK.

SOILS & GEOTECHNICAL INFO:

- SOIL BEARING CAPACITY HAS BEEN ASSUMED TO BE STABLE (100 KPA). CONTRACTOR SHALL VERIFY ON SITE.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR BEDROCK.
- GEOTECHNICAL ENGINEER TO CONFIRM SOIL BEARING PRESSURE PRIOR TO CONCRETE FOR FOOTINGS.

HAZARDOUS MATERIALS:

- NO HAZARDOUS MATERIALS REPORT IS AVAILABLE FOR THE SITE. REPORT ALL SUSPICIOUS MATERIALS TO THE OWNER & CONSULTANT UPON AWARENESS.

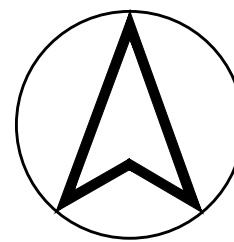
CONSTRUCTION NOTES:

- CONTRACTOR TO COORDINATE ALL WORK, INCLUDING THE WORK OF ALL SUBTRADES AND SUBCONTRACTORS. COORDINATE ALL WORK SCHEDULES WITH OWNER PRIOR TO START.
- CHECK ALL DIMENSIONS PRIOR TO THE START OF WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- SAFEGUARD ALL EXISTING STRUCTURES AFFECTED BY THIS CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING SYSTEMS OF BUILDING ELEMENTS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK, VERIFY, LOCATE, PROVIDE AND REINFORCE AS NECESSARY ALL OPENINGS FOR MECHANICAL AND ELECTRICAL REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DISCARDED MATERIALS FROM THE SITE.
- PERFORM ALL WORK AND INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- MAKE GOOD ALL EXISTING AREAS DISTURBED BY NEW WORK TO MATCH EXISTING MATERIALS AND FINISHES UNLESS OTHERWISE NOTED.
- PERFORM DAILY AND FINAL CLEANING.

PARTITION NOTES:

- REFER TO THE PARTITION SCHEDULE FOR TYPICAL PARTITION ASSEMBLIES.
- ALL PARTITIONS TO BE CONSTRUCTED AS TYPE P1 PARTITION UNLESS OTHERWISE INDICATED.
- WALLS DIRECTLY ABOVE DOOR FRAMES AND SCREENS SHALL BE CONSTRUCTED AS PER THE ADJACENT WALLS.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS SHALL BE CONSTRUCTED TO THE UNDERSIDE OF THE EXISTING STRUCTURE ABOVE. SEAL AT CEILING JOINTS WHERE BATT INSULATION IS SHOWN ON DRAWINGS.

3
A0.0
GENERAL NOTES
SCALE NTS



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project: ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB

TOWNSHIP OF STRONG

28 MUNICIPAL LANE
SUNDRIDGE, ONTARIO

title: COVER SHEET, KEY PLAN, LEGENDS AND GENERAL NOTES

revision date:
AUGUST 20, 2026

ISSUED FOR PERMIT,
DESIGN AND
CONSTRUCTION

project number:
2503

dwg no:

A0.0

2024 Ontario Building Code Data Matrix Part 9 – Housing and Small Buildings										Building Code Reference¹
9.00	Building Code Version:	O. Reg. 163/24		Last Amendment		O. Reg. 163/24				
9.01	Project Type:	☒ New Construction ☐ Addition ☐ Renovation ☐ Change of use ☐ Addition and renovation Description: <u>Attendant Office, Washroom Pavilion and Site Upgrades</u>								[A] 1.3.3.3.
9.02	Major Occupancy Classification:	Occupancy Use <u>Group A2</u> <u>Assembly Occupancy (Public Washrooms)</u>								9.10.2.
9.03	Superimposed Major Occupancies:	☒ No ☐ Yes ☐ N/A								9.10.2.3.
9.04	Building Area (m²)	Description:		Existing	New	Total			[A] 1.4.1.2.	
		<u>Single Storey Structure</u>		<u>0</u>	<u>46.58</u>	<u>0</u>				
		Total		<u>0</u>	<u>46.58</u>	<u>0</u>				
9.07	Building Height	<u>1</u>	Stores above grade		<u>4.0</u>	(m) Above grade			[A] 1.4.1.2. & 9.10.4.	
		<u>0</u>	Stores below grade							
9.08	Number of Streets/ Firefighter access	<u>1</u> street(s)		Note: Reviewed with local authorities.						9.10.20.
9.09	Sprinkler System	☐ Required ☒ Not Required Provided: ☐ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☐ none								9.10.8.2.-4., and 3.2.4.7.(4)
9.10	Fire Alarm System	Description: ☐ Required ☒ Not required Proposed: ☐ Single stage ☐ Two stage ☐ None								9.10.18.
9.11	Water Service/ Supply is Adequate	☐ No ☒ Yes Note: Water supplied by neighbouring municipal building.								9.31.3.
9.12	Construction Type:	Restriction: ☒ Combustible permitted ☐ Non-combustible required ☐ Encapsulated mass timber Actual: ☒ Combustible ☐ Non-combustible ☐ Combination of combustible and non-combustible ☐ Encapsulated mass timber ☐ Combination of encapsulated mass timber and non-combustible Heavy Timber Construction: ☐ No ☐ Yes								9.10.6., 3.1.5., and 3.1.4.7.
9.13	Post-disaster Building	☒ No ☐ Yes								[A] 1.3.3.2 and Part 4
9.15	Barrier-free Design:	☒ Yes Explanation <u>A single barrier free washroom is provided</u> ☐ No								9.5.2. & 3.8
9.16	Hazardous Substances:	☐ Yes Explanation <u>No hazardous material will be stored onsite</u> ☒ No								9.10.1.3.
9.17	Required Fire Resistance Ratings	<u>Horizontal Assembly</u>		<u>Fire Resistance Rating (H)</u>	<u>Supporting Assembly(H)</u>	<u>Non-combustible in lieu of rating?</u>			9.10.8. and 9.10.11.	
		Floors over basement		<u>0</u>	<u>0</u>	☐ No ☐ Yes ☒ N/A				
		Floors		<u>0</u>	<u>0</u>	☐ No ☐ Yes ☒ N/A				
		Mezzanine		<u>0</u>	<u>0</u>	☐ No ☐ Yes ☒ N/A				
		Roof		<u>0</u>	<u>0</u>	☐ No ☐ Yes ☒ N/A				
9.18a	Spatial Separation	<u>Wall</u>	<u>EBF Area (m²)</u>	<u>L.D. (m)</u>	<u>L/H or H/L</u>	<u>Required FRR (H)</u>	<u>% Unprotected Openings Permitted</u>	<u>% Unprotected Openings Provided</u>	9.10.14., 9.10.15.	
		<u>North</u>	<u>26.13</u>	<u>23.2</u>	<u>4.29</u>	<u>3/4</u>	<u>100%</u>	<u>%</u>		
		<u>East</u>	<u>10.42</u>	<u>47.4</u>	<u>1.70</u>	<u>3/4</u>	<u>100%</u>	<u>0%</u>		
		<u>South</u>	<u>26.13</u>	<u>17.4</u>	<u>4.29</u>	<u>3/4</u>	<u>100%</u>	<u>0%</u>		
		<u>West</u>	<u>10.42</u>	<u>6.1</u>	<u>1.70</u>	<u>3/4</u>	<u>100%</u>	<u>0%</u>		
9.19a	Plumbing Fixture Requirements	Two (x2) unisex washrooms, plus one (x1) universal washroom is considered two (x2) washrooms per sex by OBC 3.7. for up to 100 people. For events beyond this capacity, the owner will require portable water closets for increased capacity.								9.31. & 3.7.4.
		Insert additional lines as needed								
9.20	Energy Efficiency:	Category: Non-residential Compliance Option: ☐ SB-10 Prescriptive (Div.4) ☐ SB-10 Performance (Div.2) ☒ SB-10 Prescriptive (Div.2) Residential Compliance Option: ☐ SB-12 Prescriptive Compliance Packages ☐ SB-12 Performance Compliance ☐ SB-12 Other: Energy Star for New Homes ☐ EnerGuide for New Houses Project Design Conditions: Climatic Zone: <u>Zone 7</u> Fenestration Gross Above Grade Wall or Roof Area (m²) Gross Fenestration Area (m²) Fenestration Ratio Vertical (W+D) <u>92.7</u> <u>8.7</u> <u>9%</u> Skylights <u>66.5</u> <u>0</u> <u>0%</u> Space Heating Fuel ☐ Natural Gas ☐ Oil ☒ Electricity ☐ Propane ☐ Solid fuel ☐ Earth energy Heating Equipment Efficiency ☐ ≥92% AFUE ☐ ≥84% - <92% AFUE ☐ ICF Basement ☐ ICF Above Grade								12.2.

1 All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C

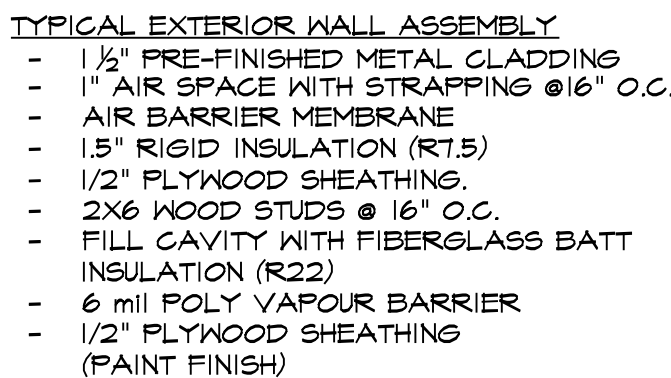
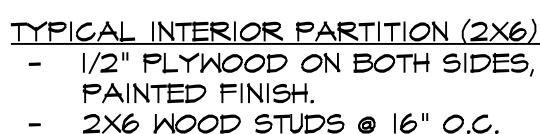
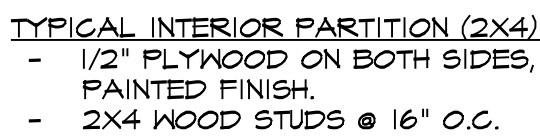
TYPICAL REINFORCED CONCRETE SLAB

- 6" FPOURED CONCRETE SLAB C/W 6x6x $\frac{1}{2}$ W.W.M.
- 2" BELOW GRADE RIGID INSULATION (RIO)
- VAPOUR BARRIER THAT MEETS ASTM E 1745 Req.
- 6" Min. GRANULAR 'A' TO 100% COMPACTION
- NATIVE OR UNDISTURBED SOILS. ALL COMPACTED SOILS TO BE TESTED PRIOR TO CONSTRUCTION

TYPICAL BUILT UP ROOF ASSEMBLY

- 1/2" STANDING SEAM METAL ROOFING
- 1x2" WOOD STRAPPING
- WATERPROOF MEMBRANE
- 3/4" PLYWOOD SHEATHING
- 2X10 WOOD RAFTERS @ 16" O/C
- SECURELY FASTENED TO STUD WALLS
- W/ HURRICANE CLIPS
- FILL CAVITY W/ 18" min. OF BATT INSULATION (R60)
- AIR/VAPOUR BARRIER
- SUSPENDED WOOD STRAPPING
- CEILING GRID
- 6 mil POLY VAPOUR BARRIER
- 1/2" GYPSUM WALL BOARD
- PAINTED FINISH

GRAPHIC SECTIONS INDICATED BELOW ARE IN PLAN.

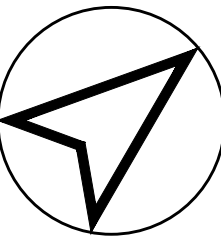
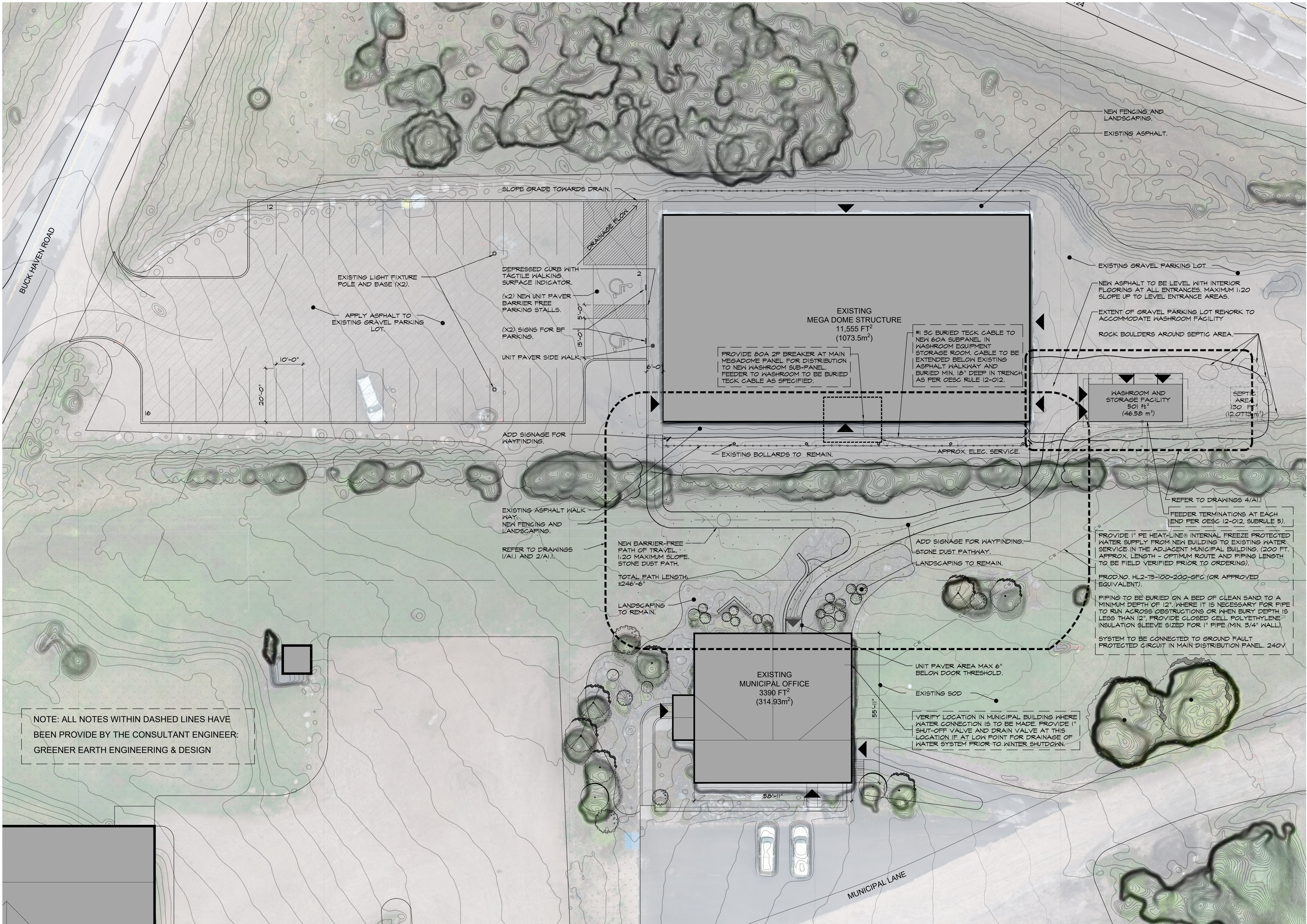


1. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL MOUNTED ACCESSORY LOCATIONS

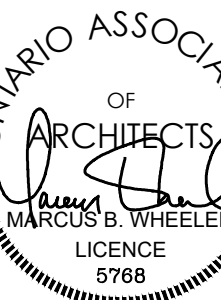
6 TYPICAL BARRIER-FREE WASHROOM INT. ELEVATIONS
A0.1 SCALE 3/8" = 1'-0"



AO.1



ISSUED FOR PERMIT, TENDER AND CONSTRUCTION
08/20/2026
ISSUED FOR REVIEW
08/12/2026
ISSUED FOR REVIEW
07/22/2026
ISSUED FOR REVIEW
07/09/2026



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project: ALMAGUIN HIGHLANDS OUTDOOR COMMUNITY HUB

TOWNSHIP OF STRONG

28 MUNICIPAL LANE

SUNDRIDGE, ONTARIO

OVERALL SITE PLAN

drawn by: SD + AL

checked by: MBW

scale: 1/16" = 1'-0"

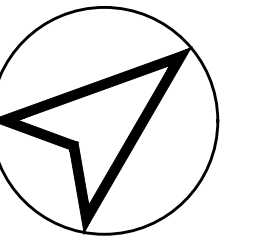
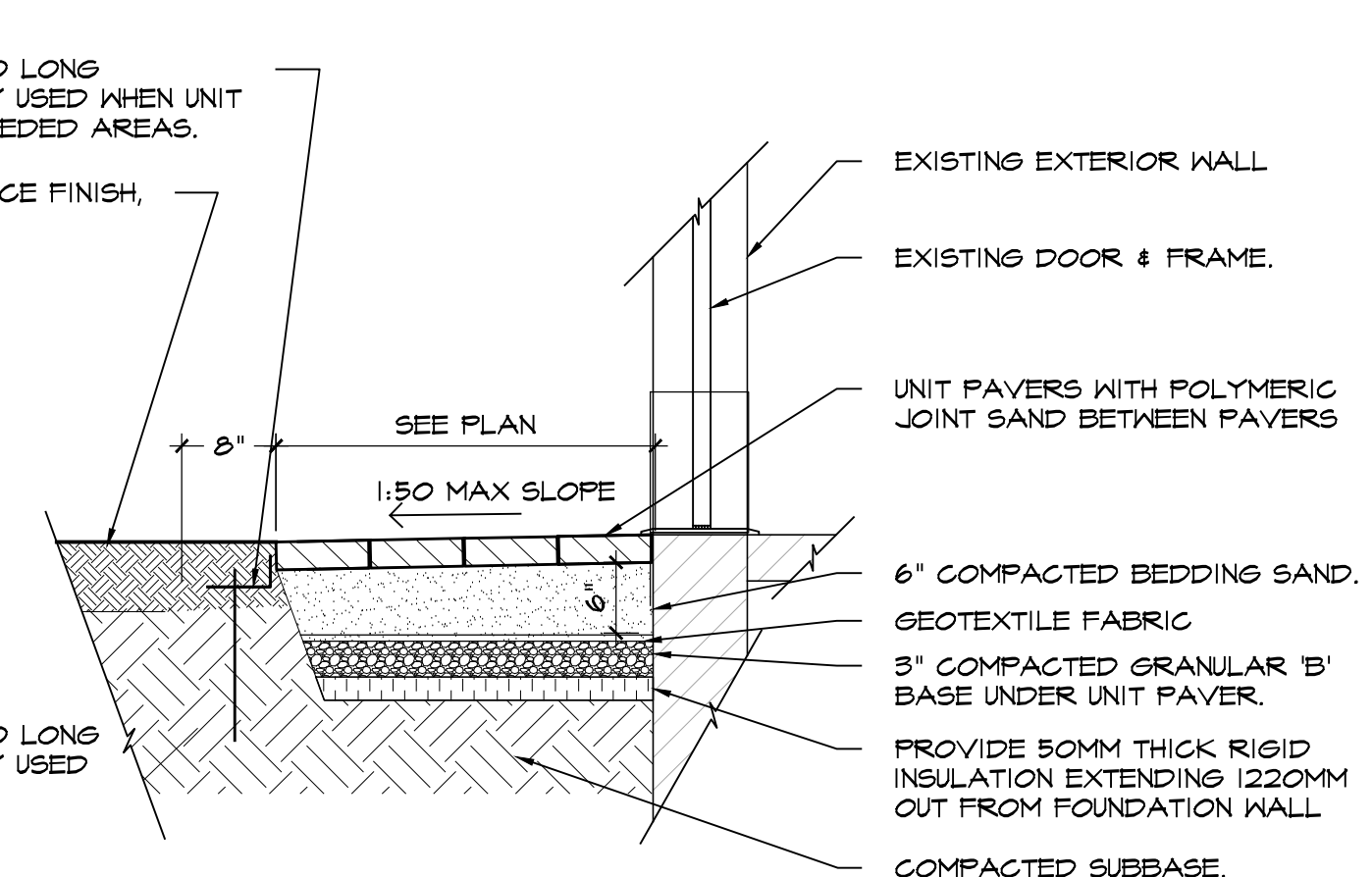
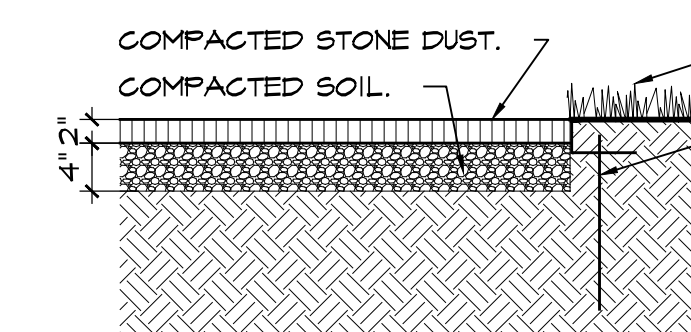
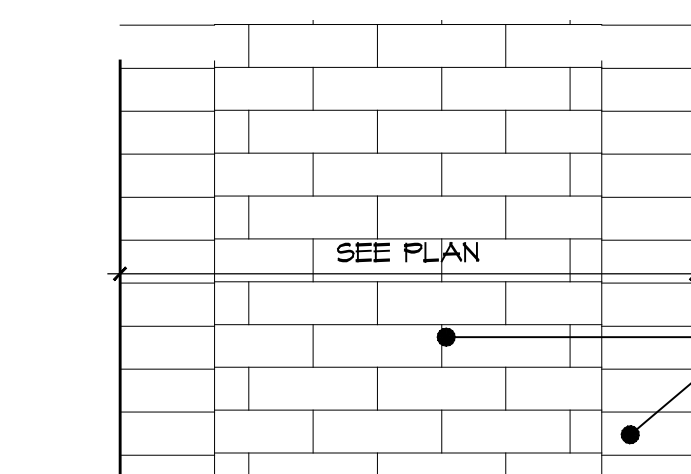
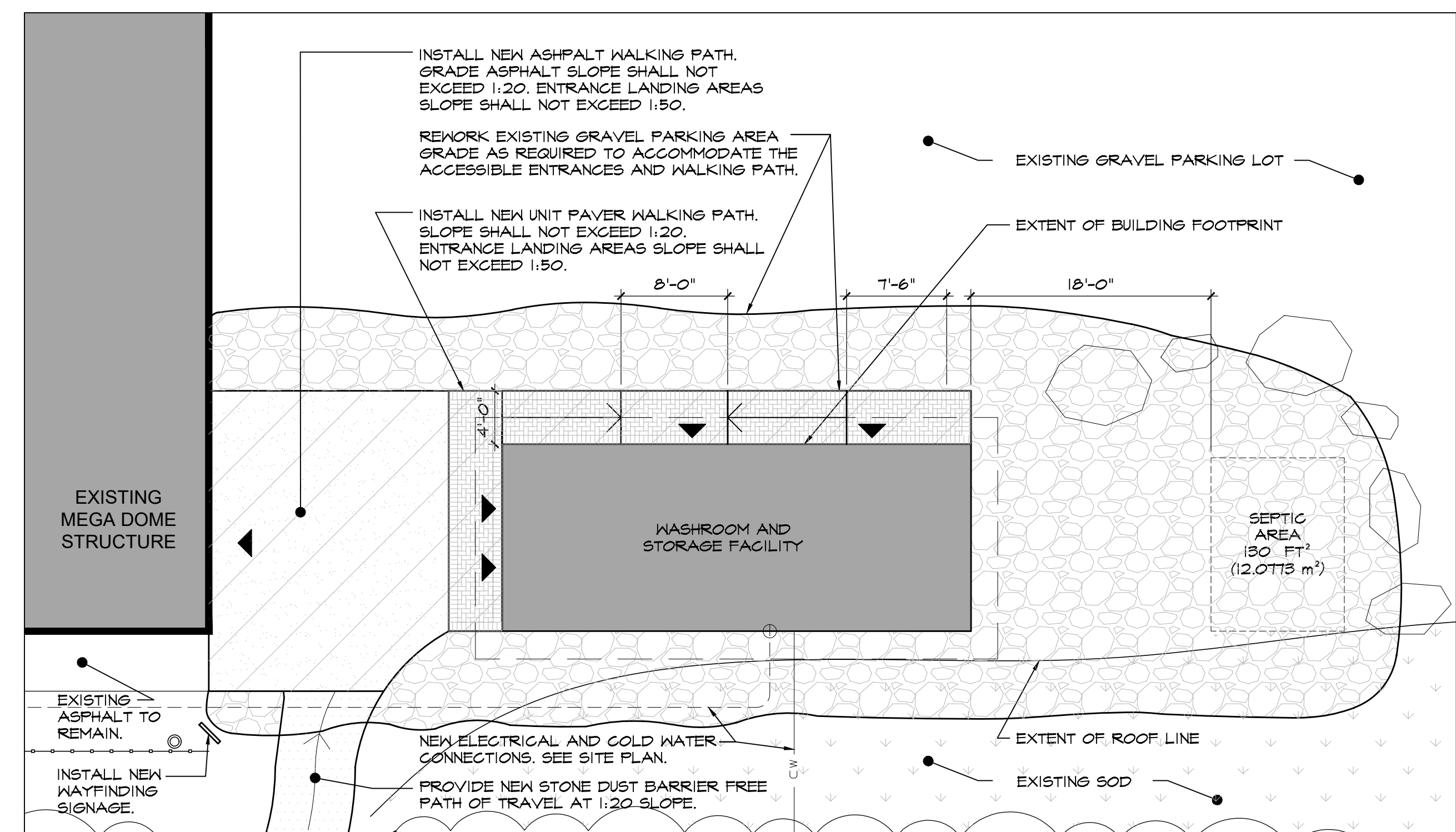
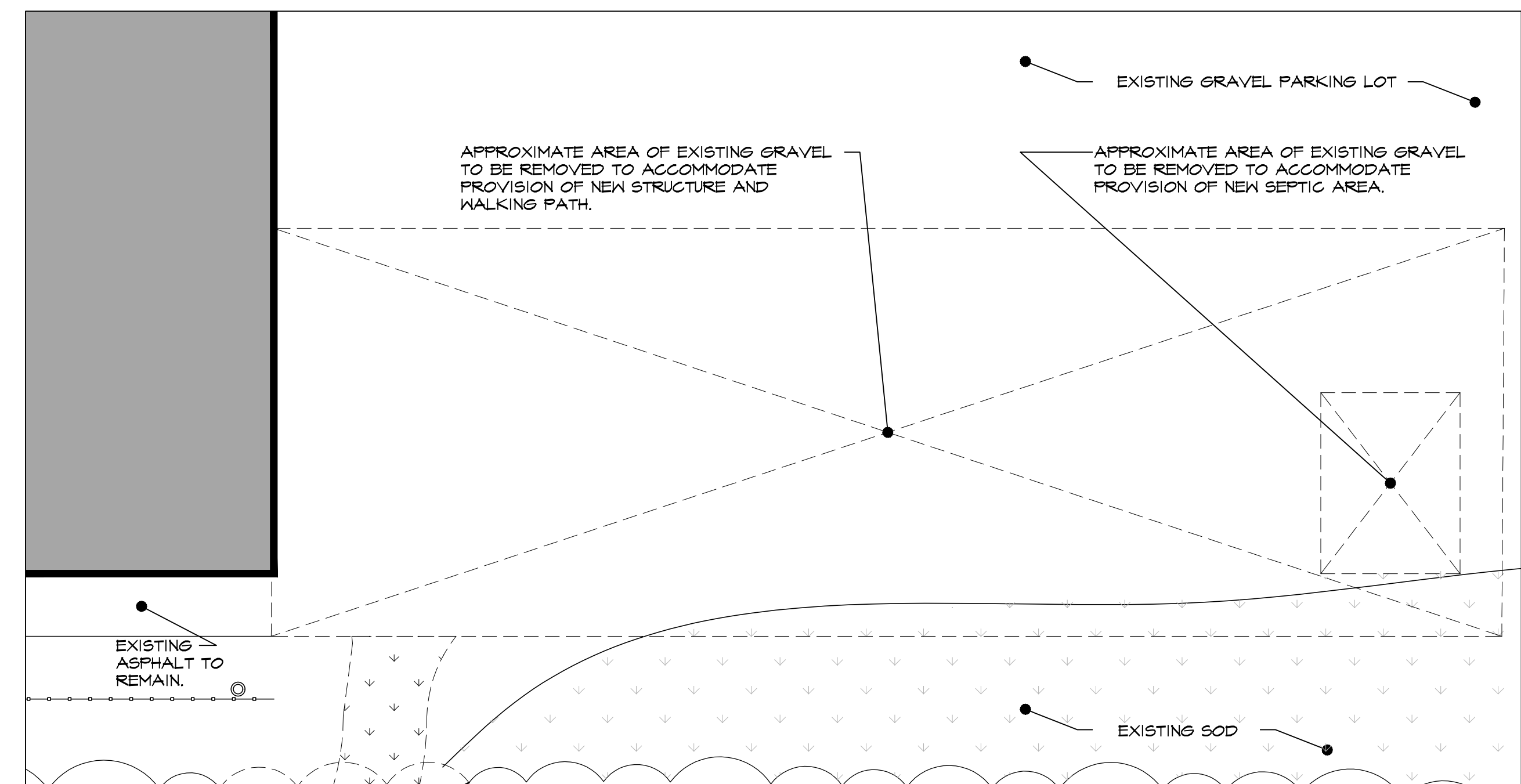
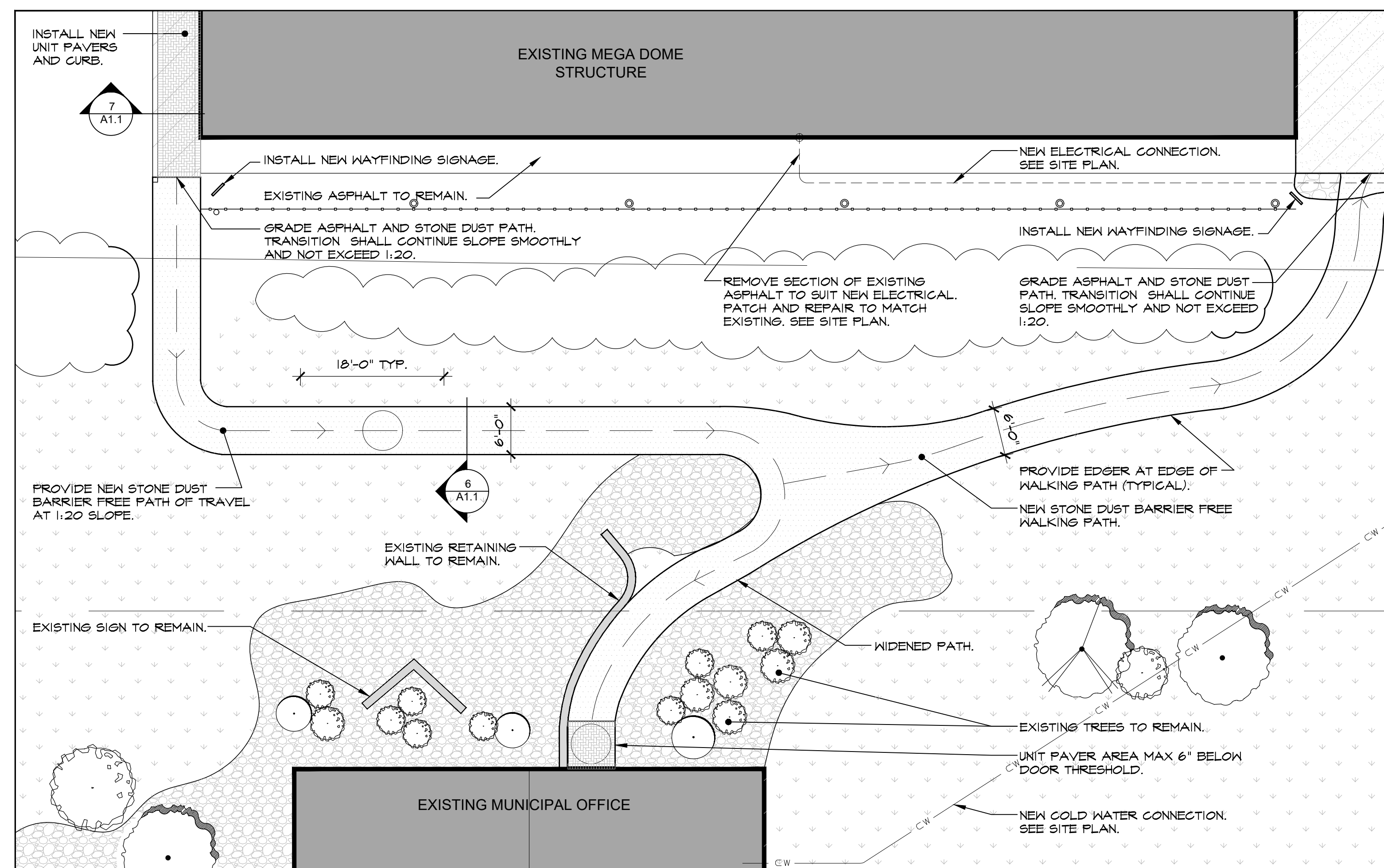
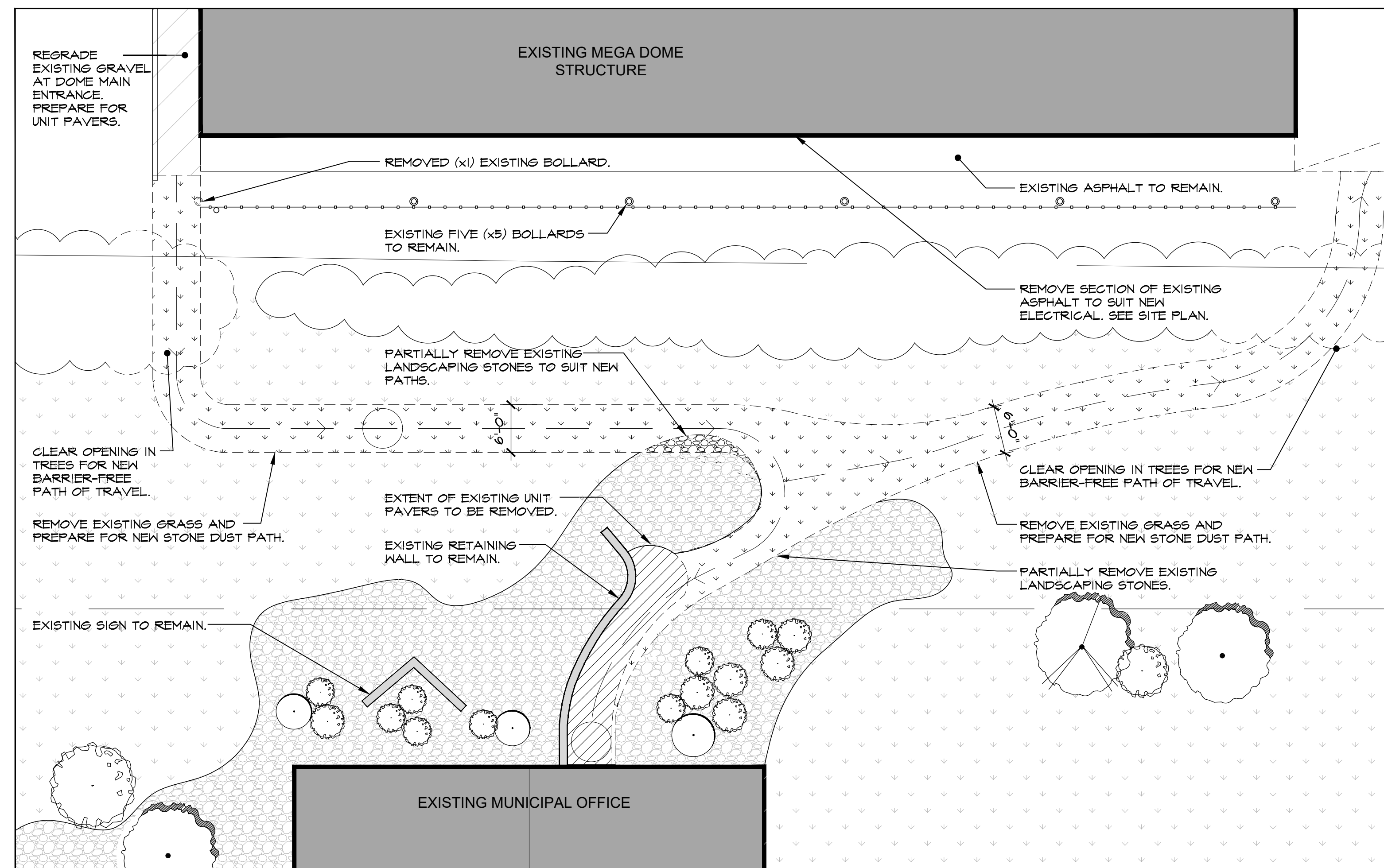
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date plotted: Aug 19, 2026

revision date: August 2026

dwg no:

A1.0

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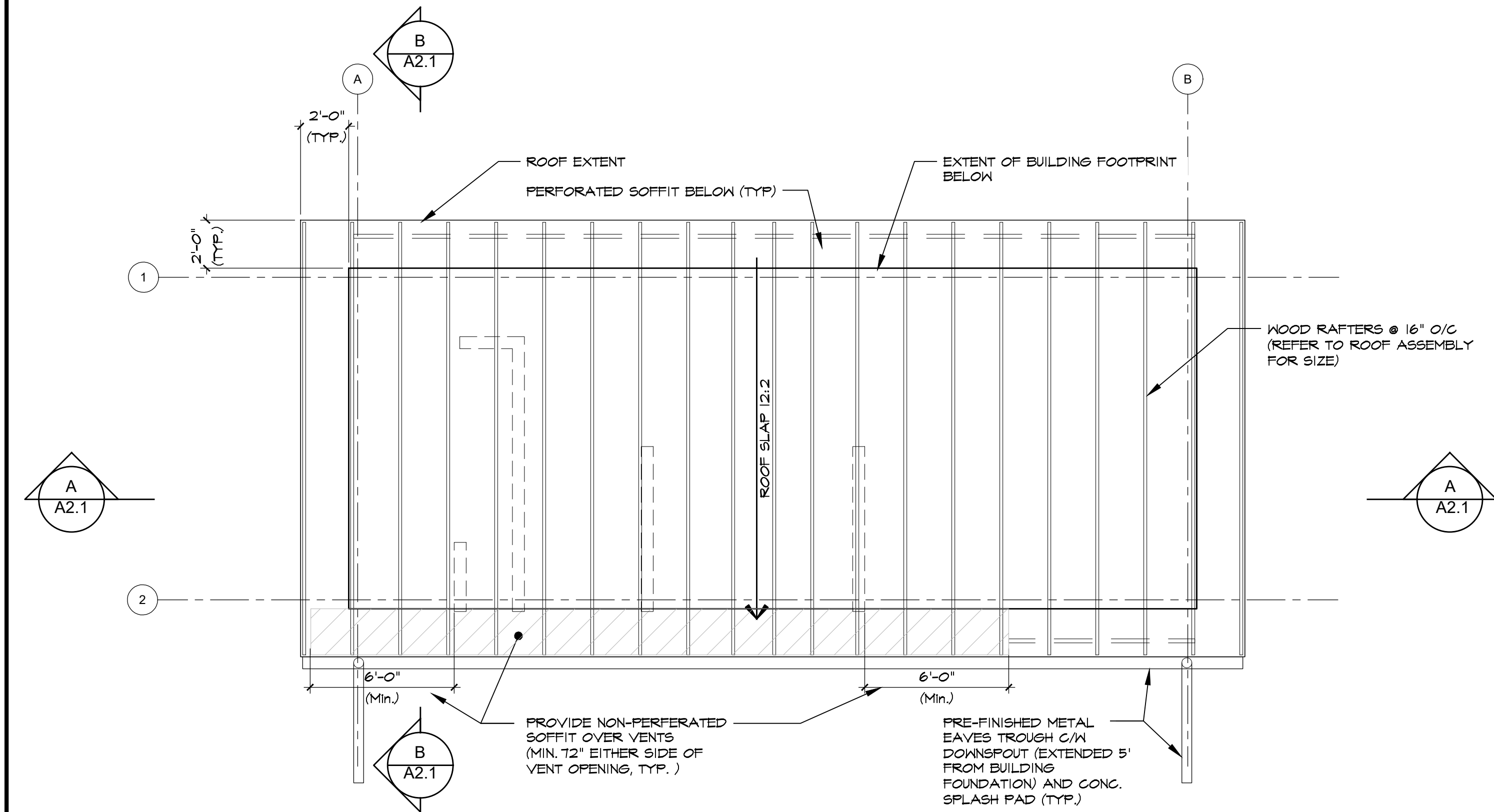
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TOWNSHIP OF STRONG**

PARTIAL SITE PLANS

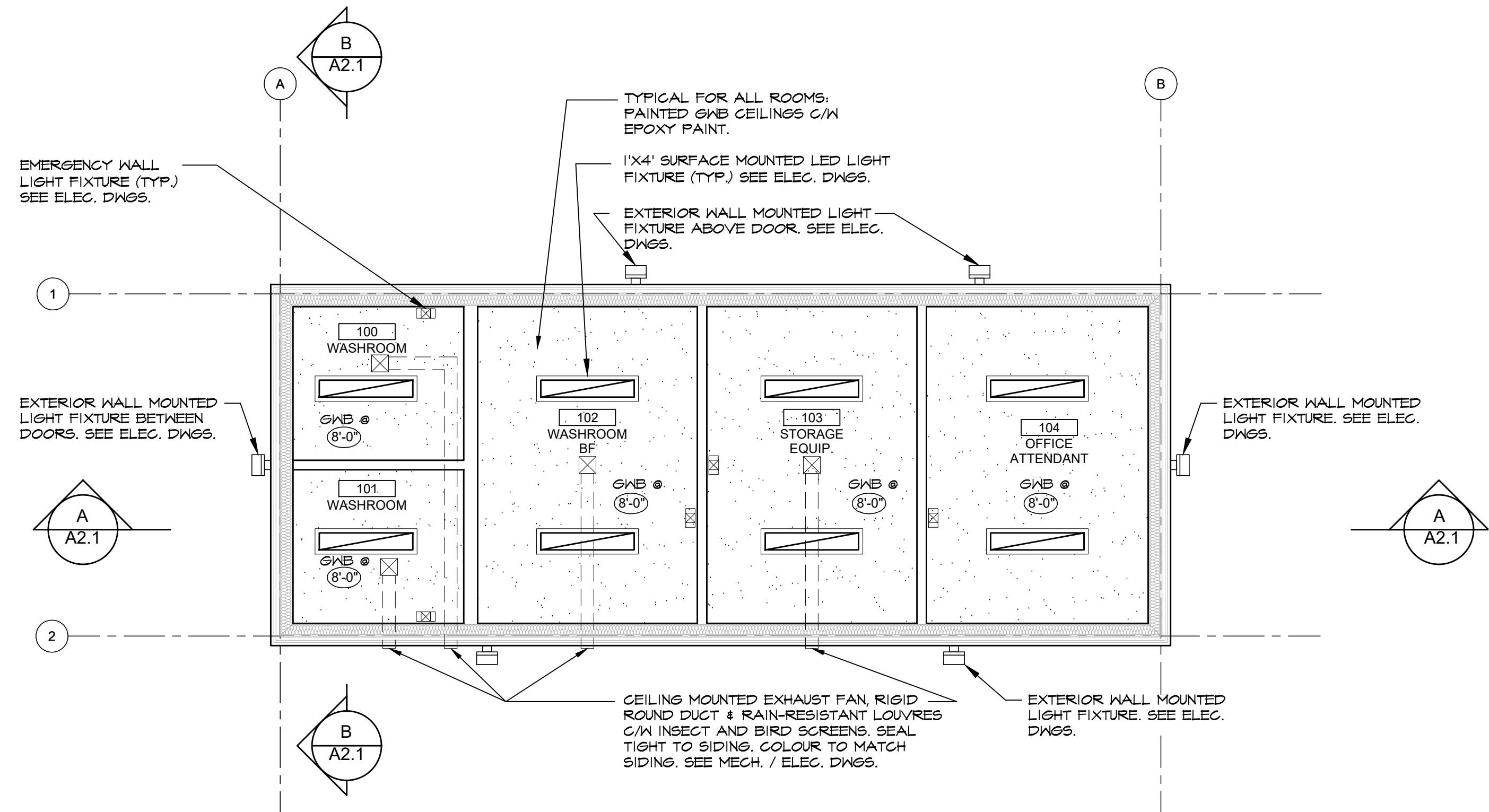
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revision date: August 2026	

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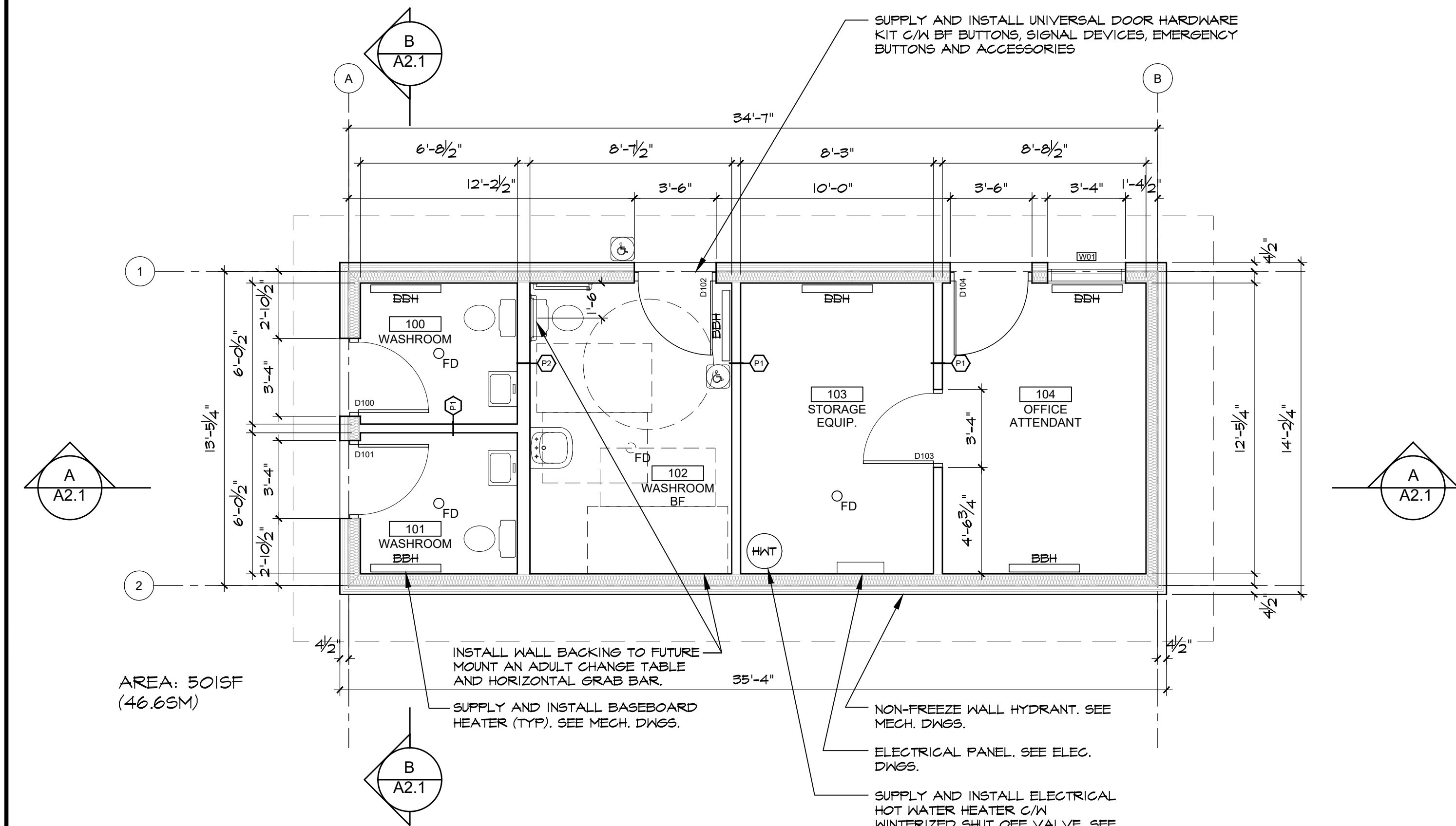
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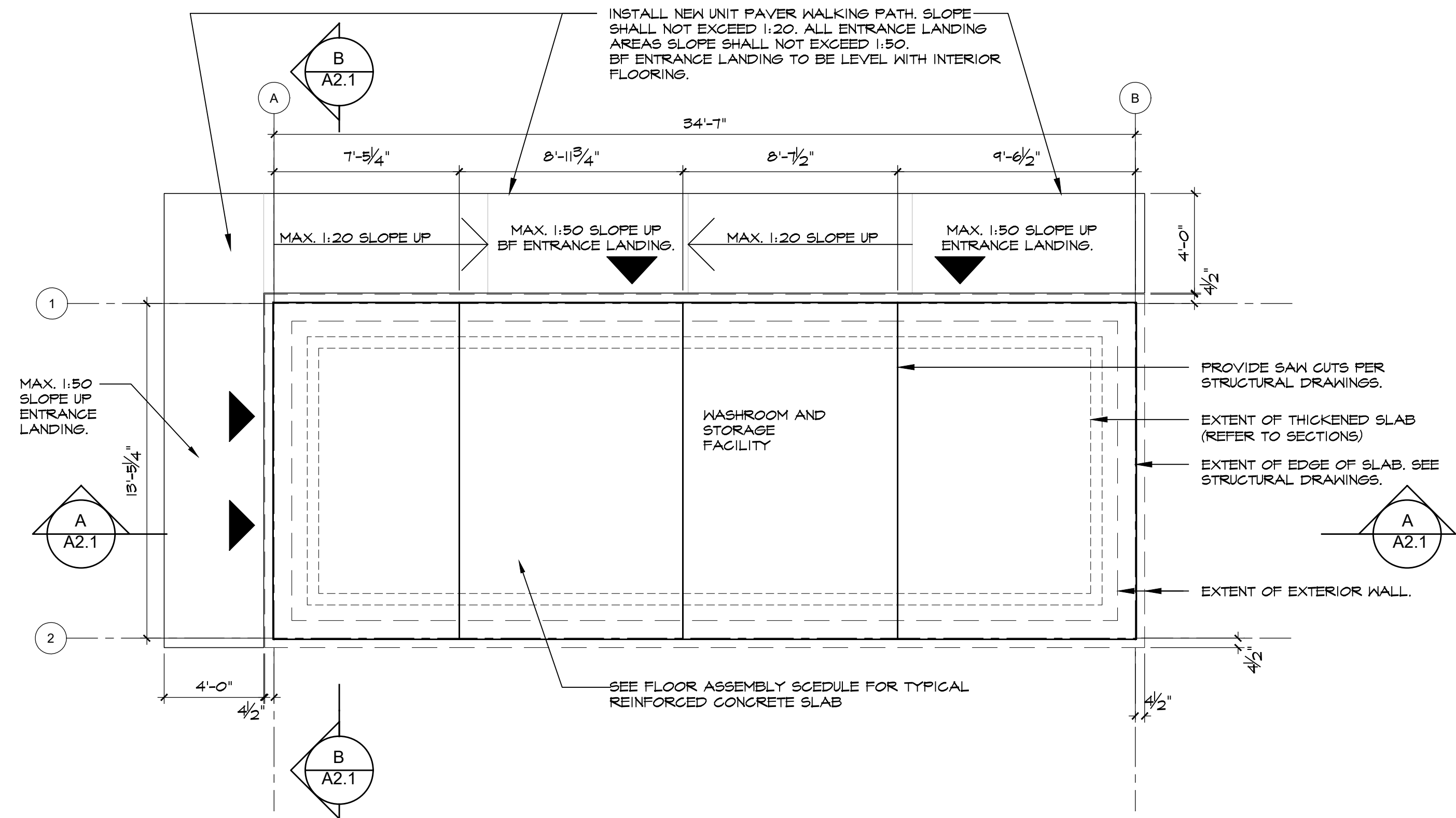
1 ROOF PLAN
A2.1 SCALE 1/4"=1'-0"



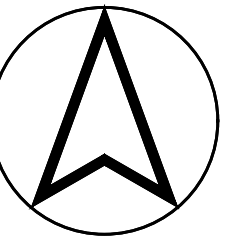
2 CEILING PLAN
A2.1 SCALE 1/4"=1'-0"



3 FLOOR PLAN
A2.1 SCALE 1/4"=1'-0"



4 FOUNDATION PLAN
A2.1 SCALE 1/4"=1'-0"



ISSUED FOR PERMIT, TENDER AND CONSTRUCTION
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08/20/2026
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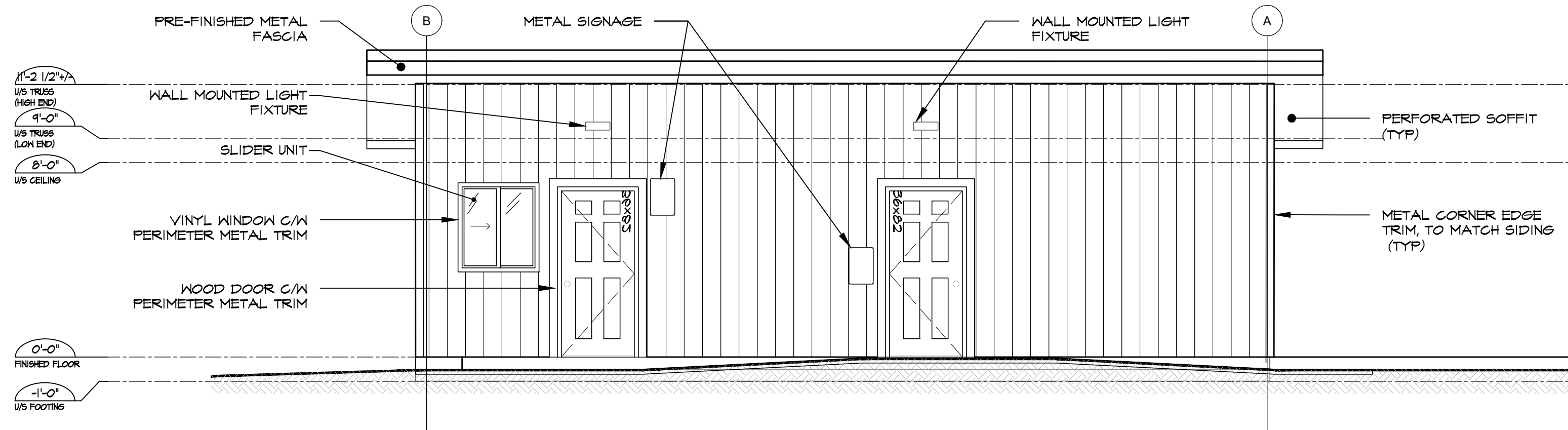
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TOWNSHIP OF STRONG
28 MUNICIPAL LANE
SUNDRIE, ONTARIO

title: FOUNDATION PLAN, FLOOR PLAN,
REFLECTED CEILING PLAN AND ROOF PLAN

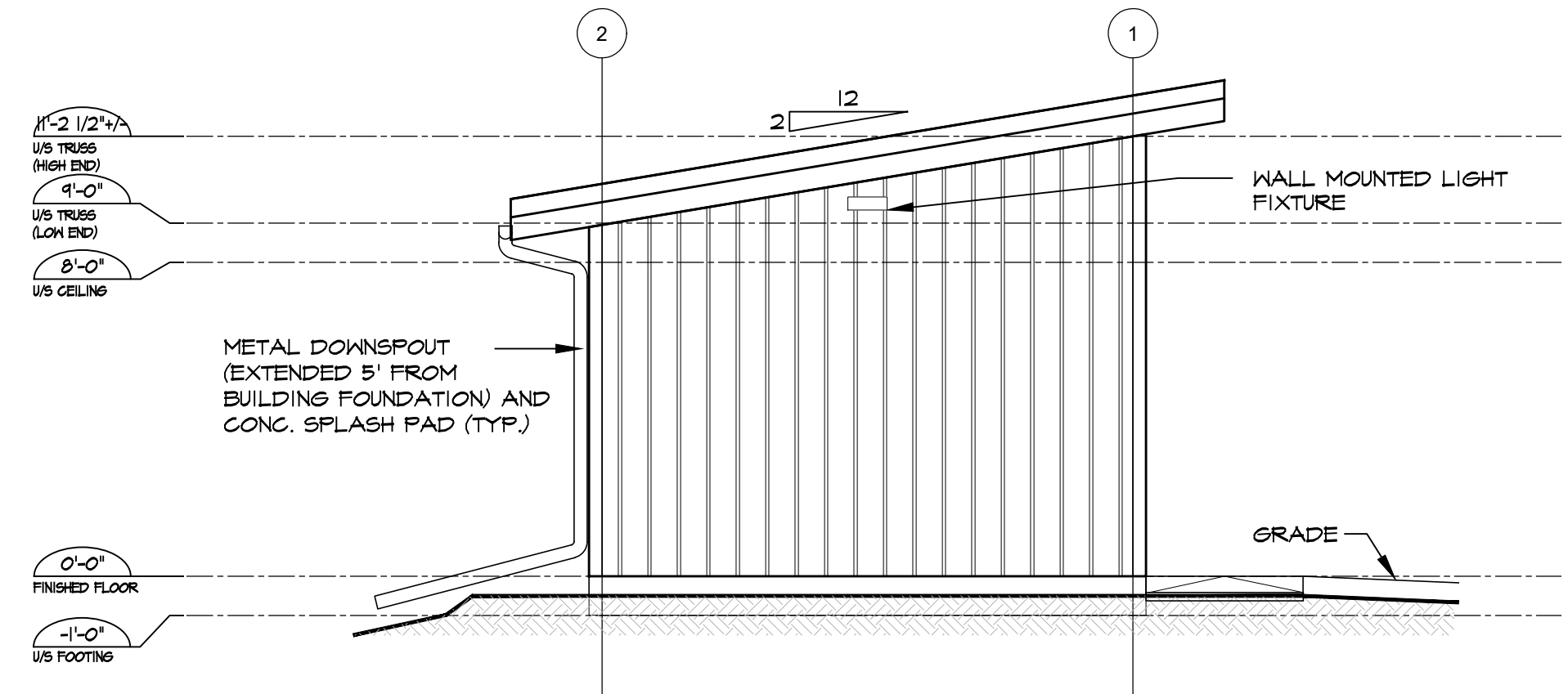
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SD + AL	MBW
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AS NOTED	2503
date plotted:	
Aug 19, 2026	
revision date:	
August 2026	

dwg no:

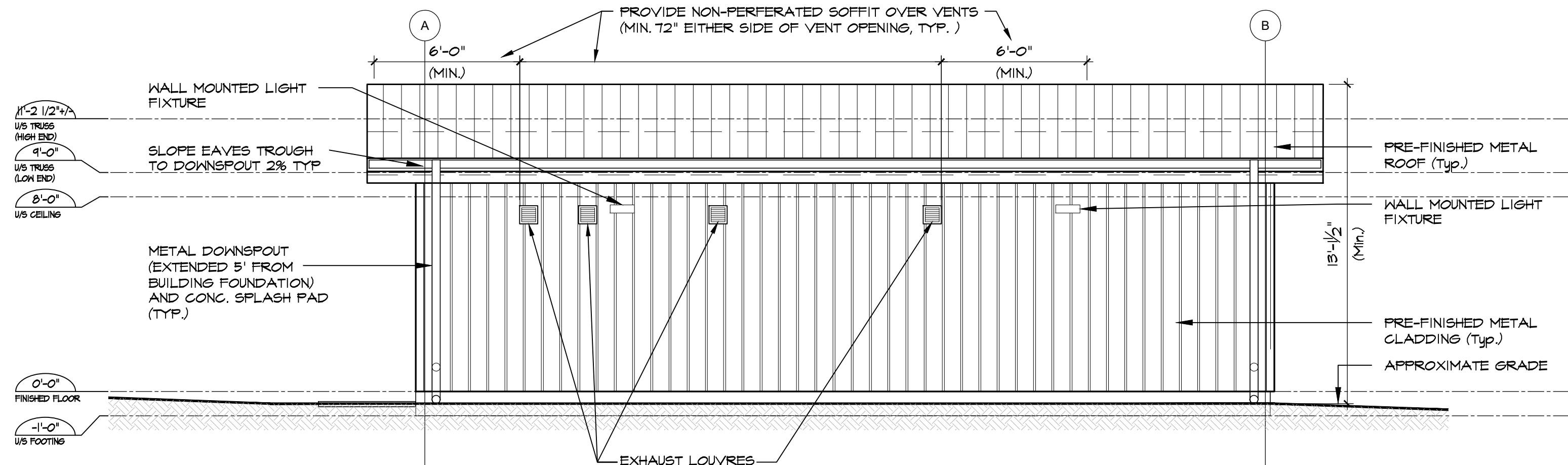
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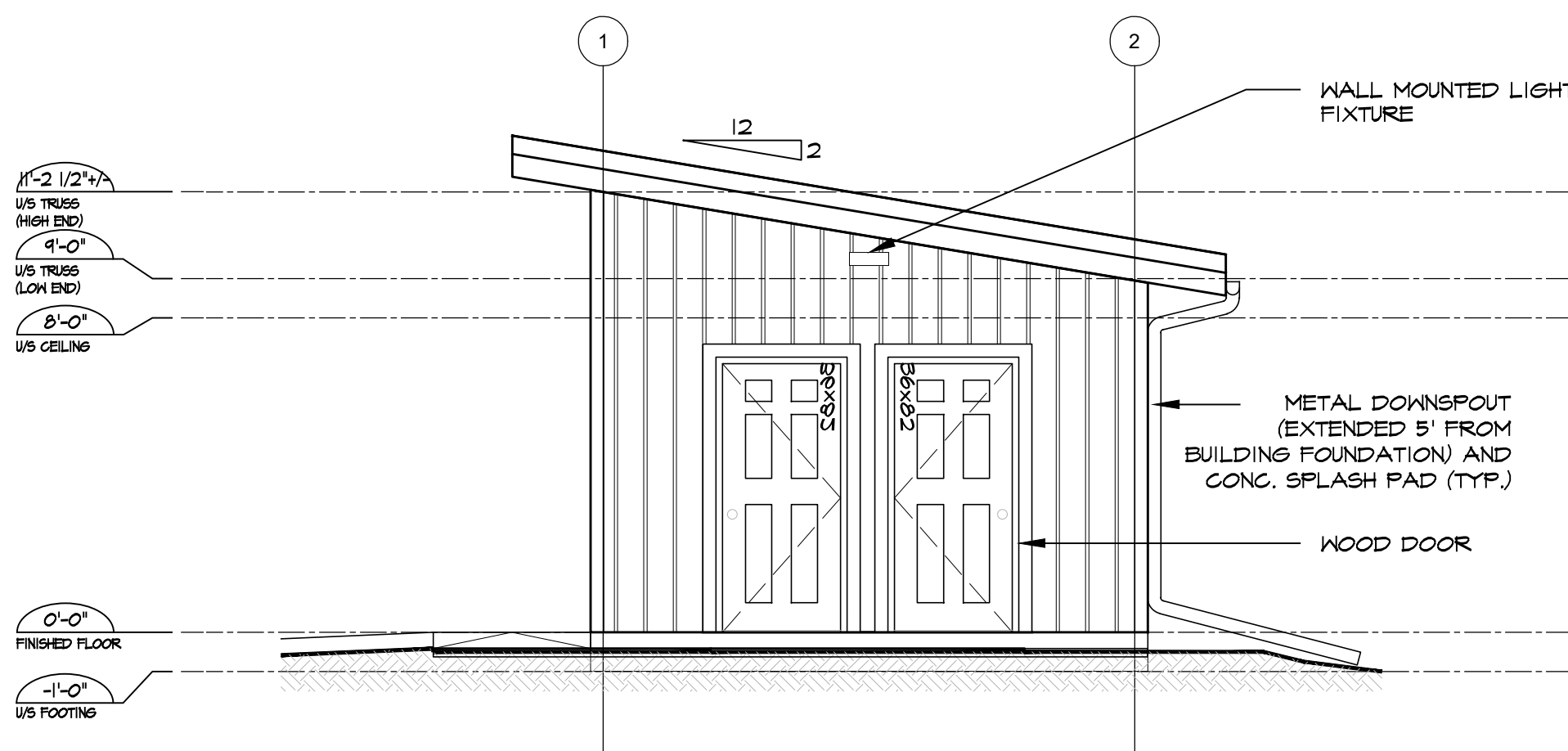
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SCALE 1/4"=1'-0"



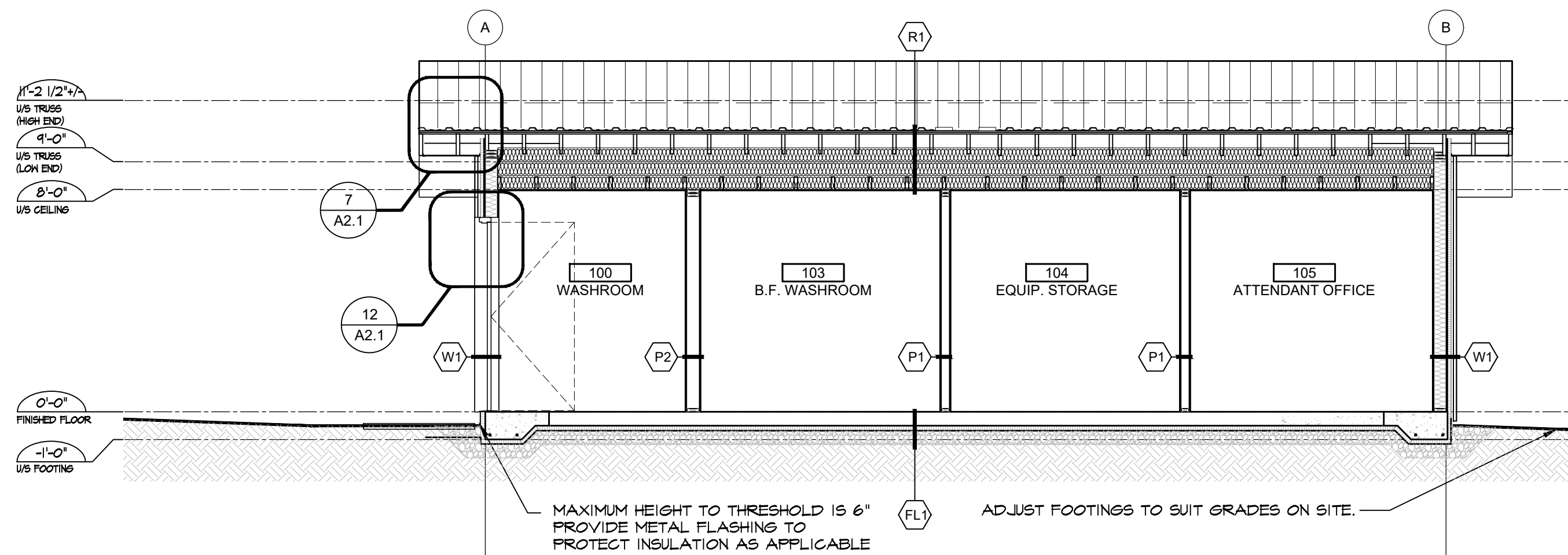
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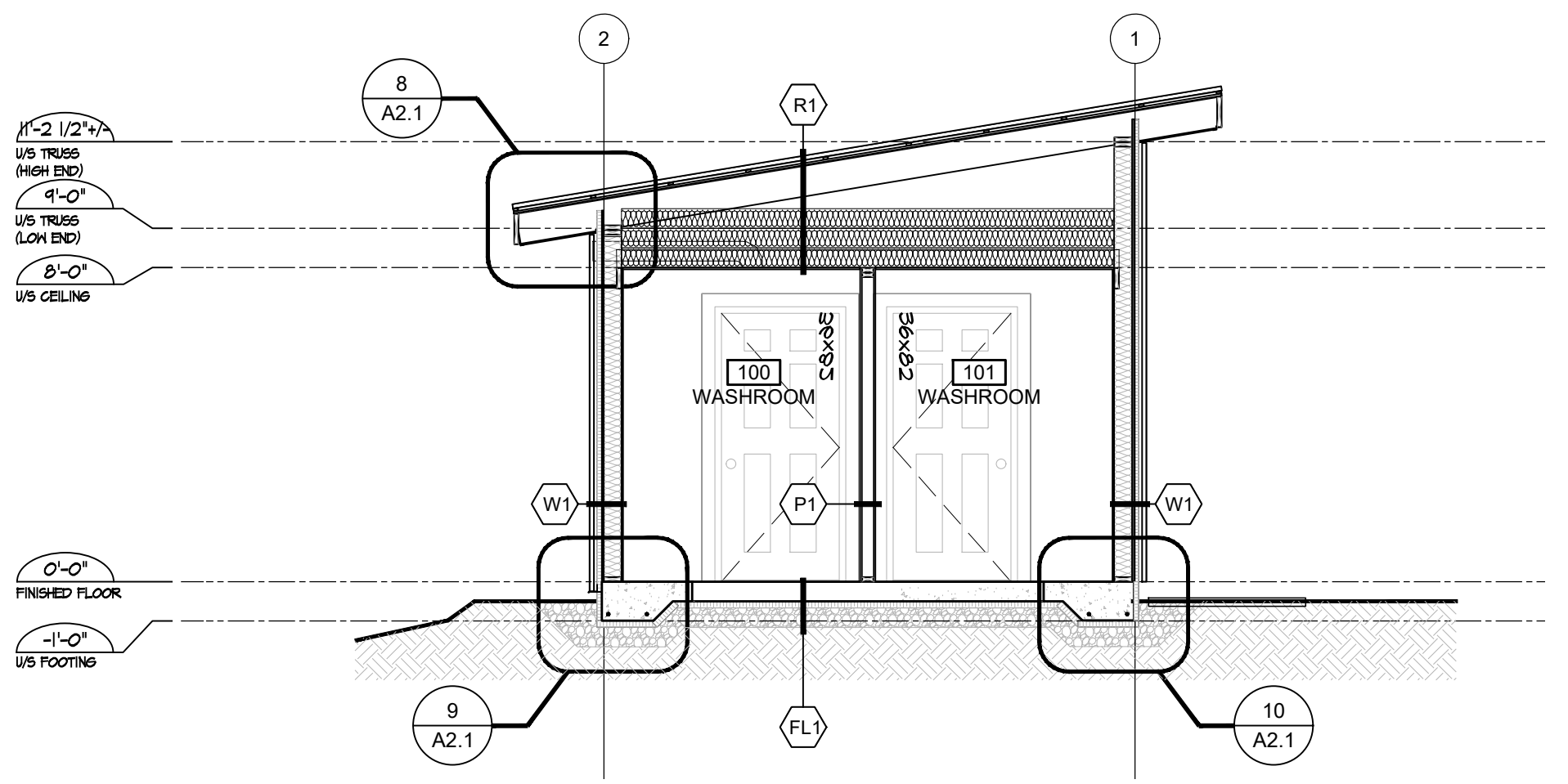
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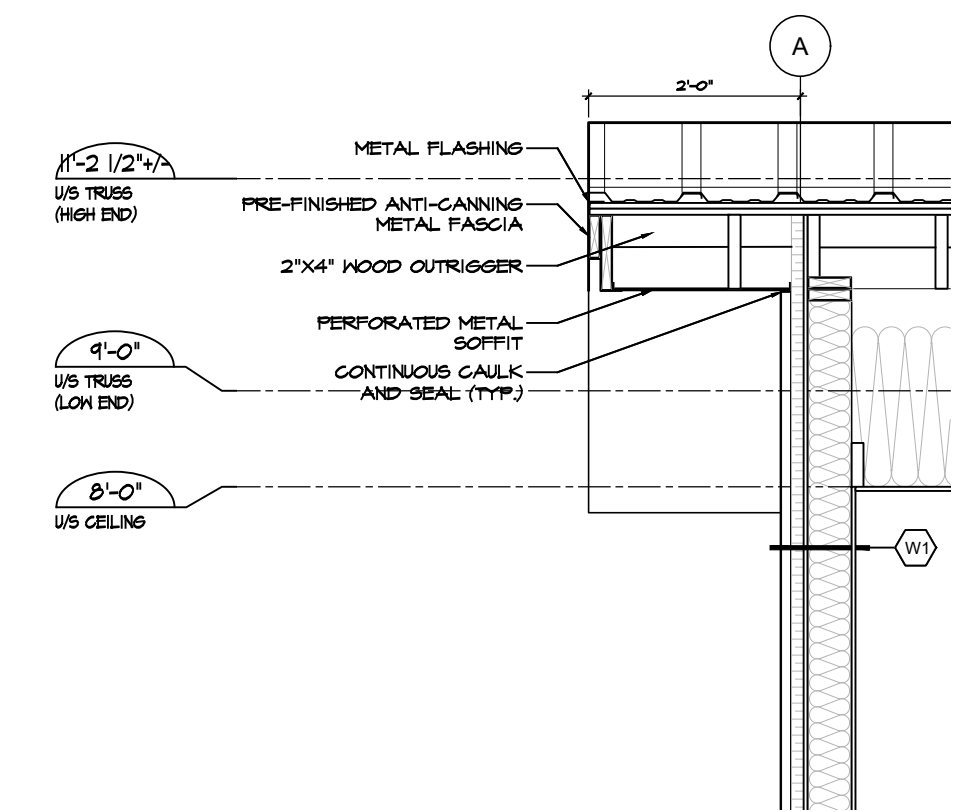
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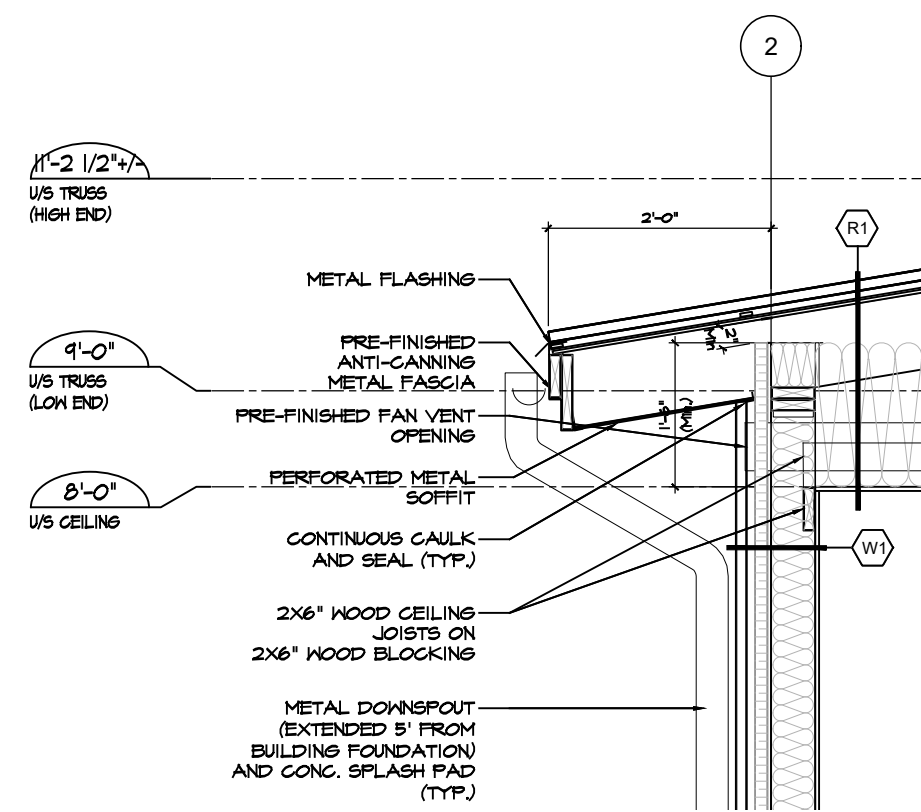
5 SECTION A-A
SCALE 1/4"=1'-0"



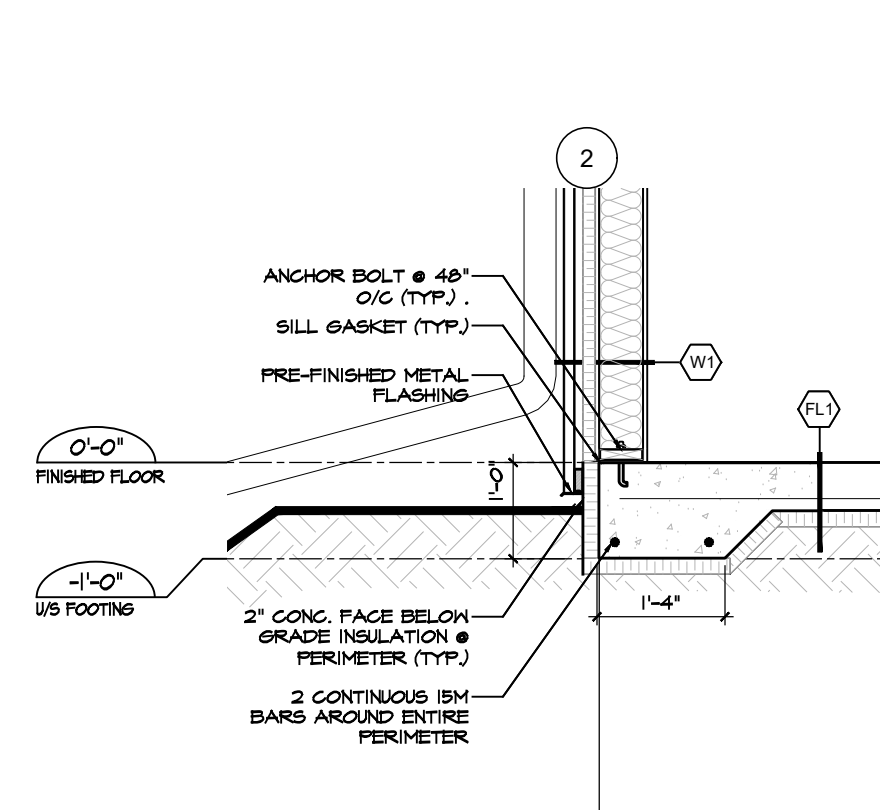
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SCALE 1/4"=1'-0"



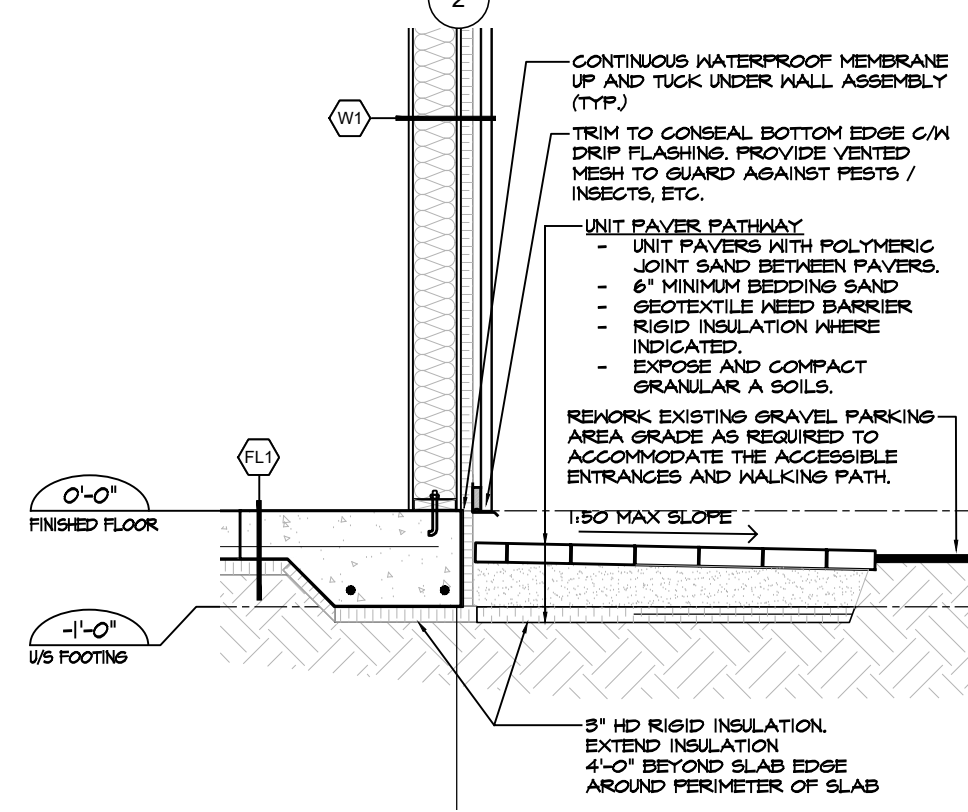
7 ROOF OVERHANG DETAIL
SCALE 1/2"=1'-0"



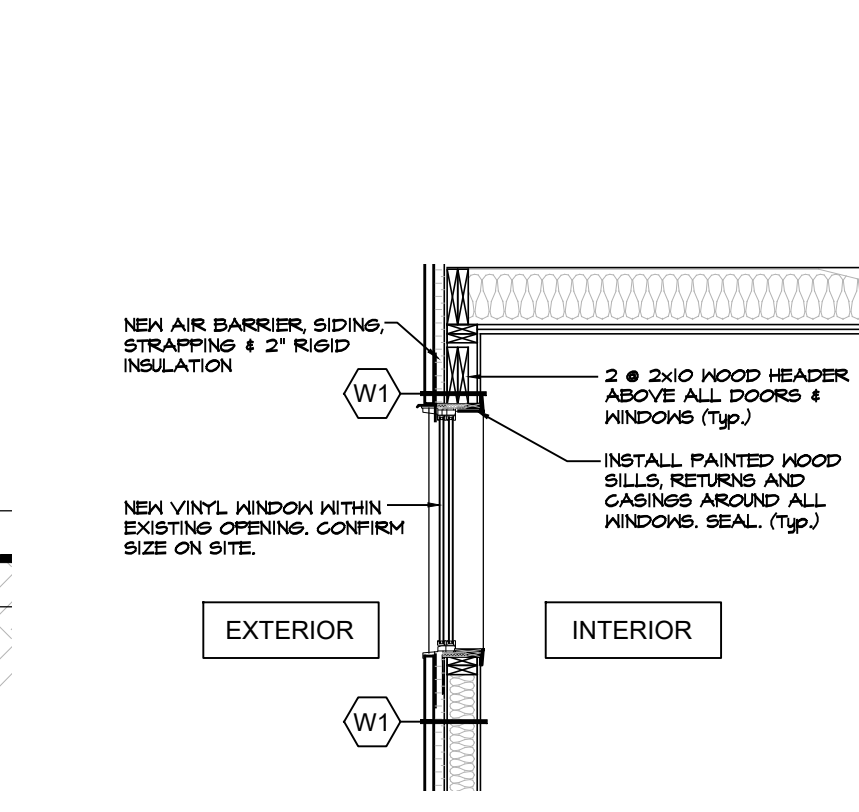
8 ROOF OVERHANG DETAIL
SCALE 1/2"=1'-0"



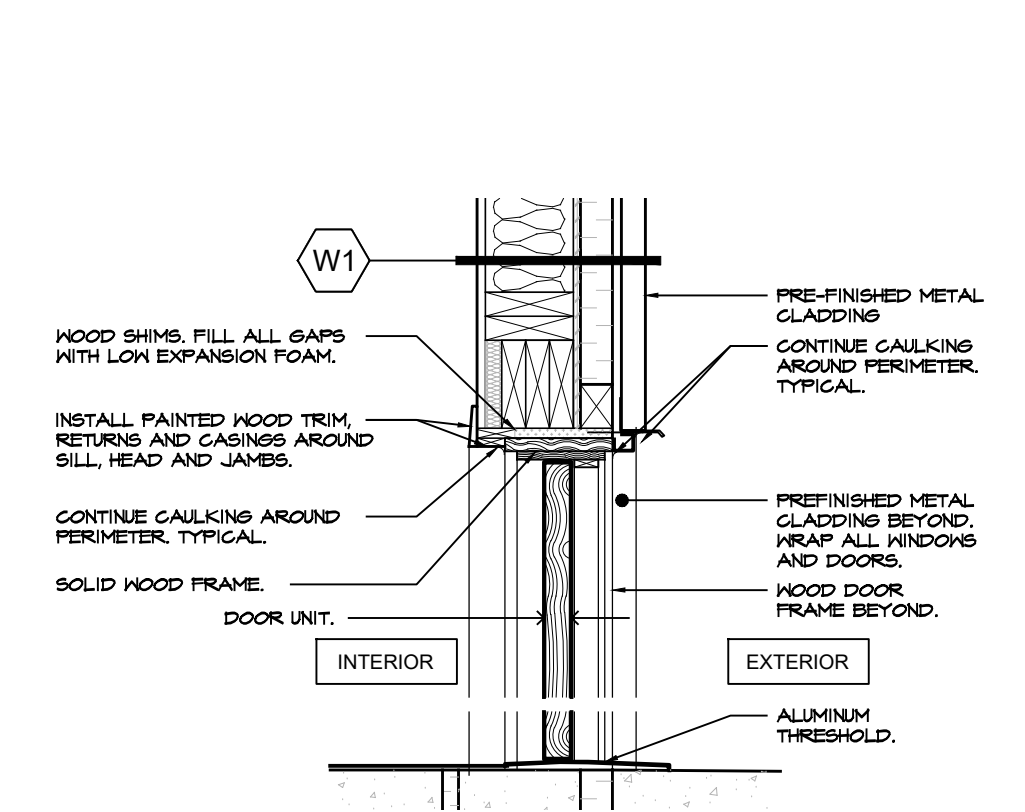
9 THICKENED SLAB DETAIL
SCALE 1/2"=1'-0"



10 UNIT PAVER PATHWAY DETAIL
SCALE 1/2"=1'-0"



11 WINDOW SECTION DETAIL
SCALE 3/8"=1'-0"



12 DOOR SECTION DETAIL
SCALE 1"=1'-0"

ISSUED FOR PERMIT, TENDER AND CONSTRUCTION	08/20/2026
ISSUED FOR REVIEW	08/12/2026
ISSUED FOR REVIEW	07/22/2026
ISSUED FOR REVIEW	07/09/2026



Bertrand Wheeler architecture Inc.
528 Cassels Street, North Bay, ON P1B 3Z7 tel: 705-472-0988 fax: 705-472-2486

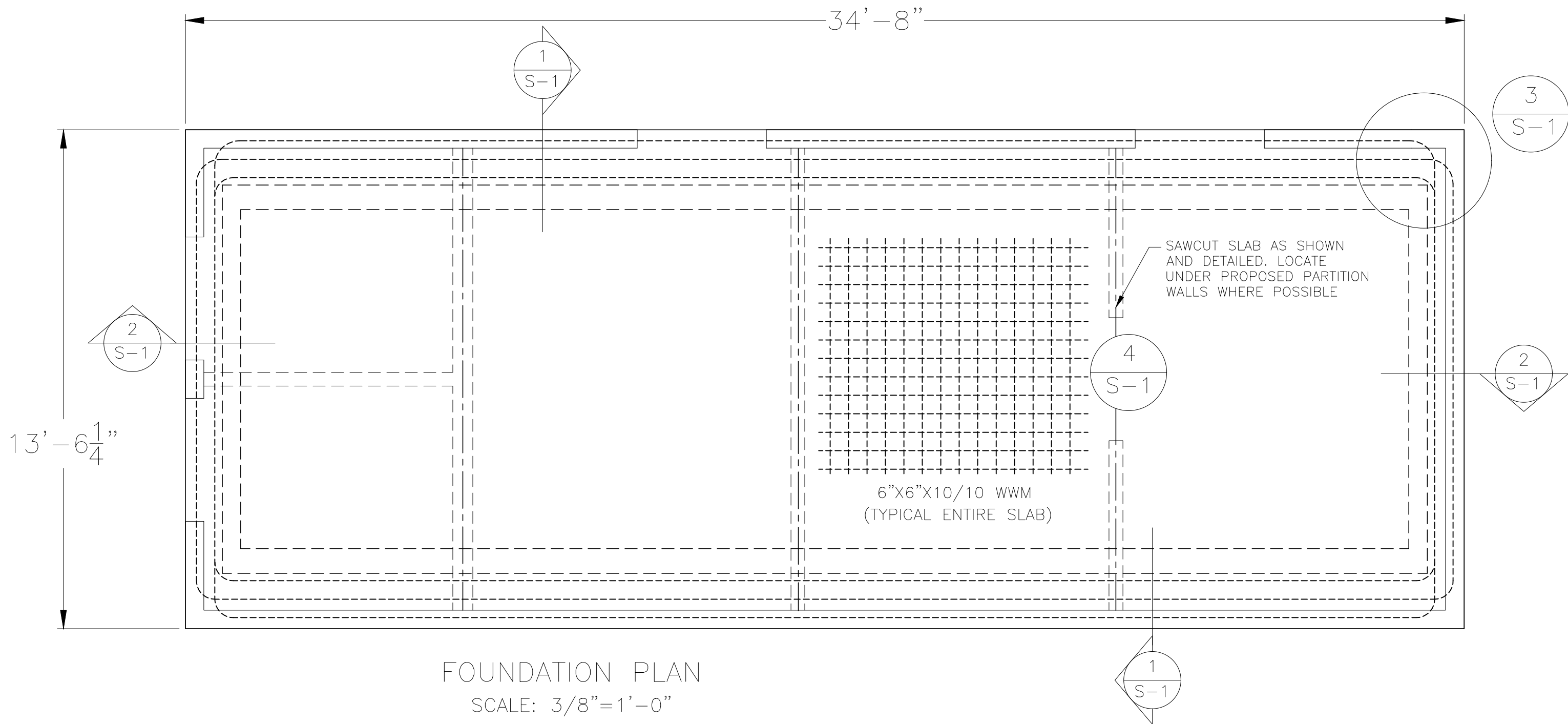
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TOWNSHIP OF STRONG
28 MUNICIPAL LANE
SUNDRIIDGE, ONTARIO

drawn by: SD + AL checked by: MBW
scale: AS NOTED project no: 2503
date plotted: Aug 19, 2026
revision date: August 2026

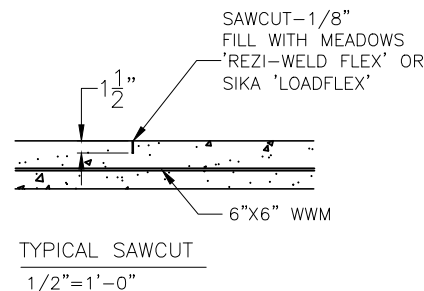
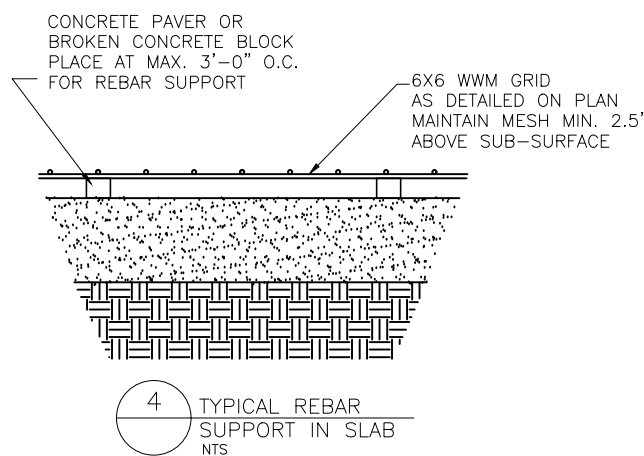
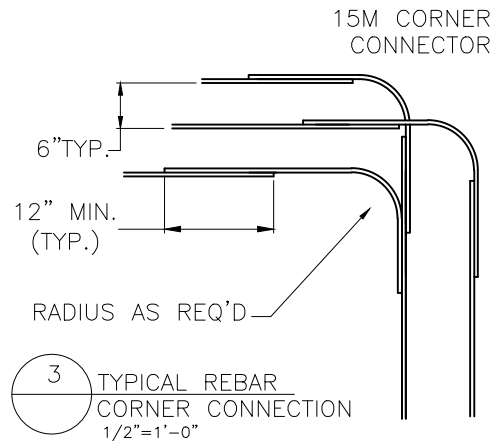
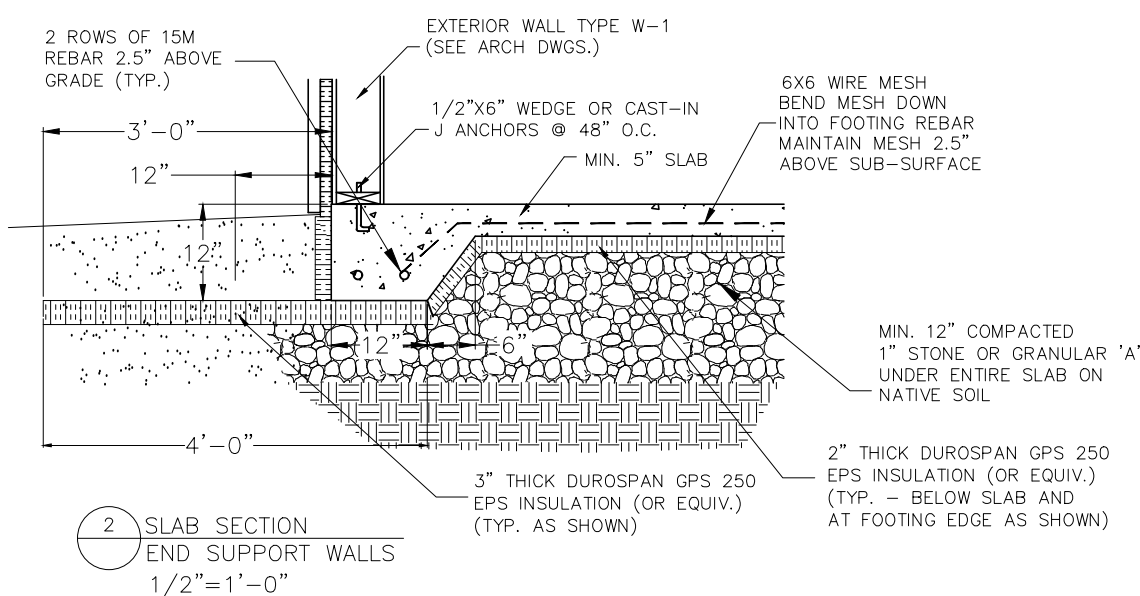
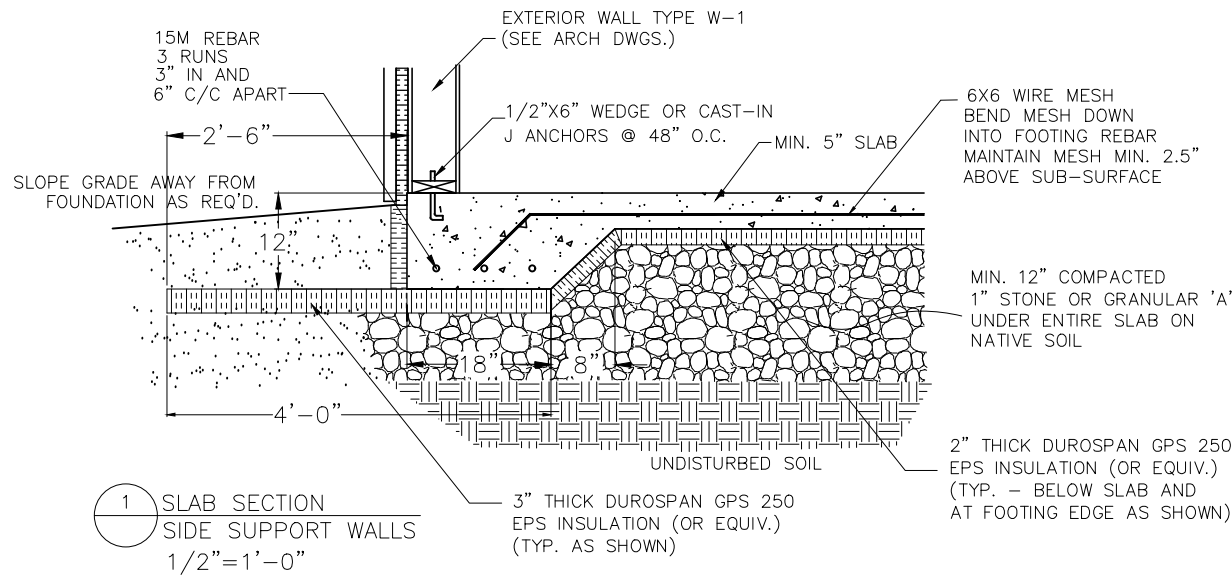
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A2.1

ELEVATIONS AND SECTIONS



FOUNDATION PLAN
SCALE: 3/8"=1'-0"



FOUNDATION — GENERAL

1. ALL WORK TO COMPLY WITH ONTARIO BUILDING CODE-2024, THE ONTARIO CONSTRUCTION SAFETY ACT AND REGULATIONS, ALL LOCAL BYLAWS AND REGULATIONS AND TO THE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. FOR THE PURPOSE OF THIS DESIGN, THE BUILDING IS HEATED.
2. NOTIFY ENGINEER IF BUILDING LAYOUT OR OPENING SIZES VARY FROM THOSE SHOWN ON SUPPLIED BUILDING DRAWINGS. NOTIFY ENGINEER FOR REVIEW IF THERE IS ANY DISCREPANCY BETWEEN THE FOUNDATION DRAWINGS AND PROPOSED CONSTRUCTION. ADDITIONAL LOAD SUPPORT MAY BE REQUIRED IN THE SLAB FOUNDATION AT THE ENGINEER'S DISCRETION.

FOUNDATION

1. FOOTINGS ARE ASSUMED TO BE GENERALLY BEARING ON ENGINEERED FILL ON NATIVE WELL DRAINING GRANULAR 'B' SOIL. BEARING STRESS (SLS) ASSUMED TO BE MIN. 150 KPA (3,133 PSF) FOR SLAB-ON-GRADE FOOTING. FOOTING LAYOUT TO BE AS DETAILED.
2. ALL ORGANIC AND/OR UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE. ALL AREAS BELOW GRADE SHALL BE BROUGHT UP TO LEVEL IN 8" LIFTS WITH COMPACTED 1" STONE OR GRANULAR 'A' TO THE TOTAL DEPTH REQUIRED. COMPACT FILL TO THE SATISFACTION OF THE ENGINEER.
3. NO FOOTING OR SLAB SHALL BE PLACED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE. SHOULD WATER OR FROST ENTER A FOOTING EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE RE-INSPECTED BY THE GEOTECHNICAL REPRESENTATIVE AFTER REMOVAL OF WATER OR FROST.
4. PROVIDE ADEQUATE DRAINAGE AT ALL FOOTINGS AS DICTATED BY THE ONTARIO BUILDING CODE AND SITE CONDITIONS.

STRUCTURAL CONCRETE NOTES

1. REINFORCED CONCRETE DESIGN AND CONSTRUCTION ARE GOVERNED BY LATEST EDITIONS OF STANDARDS CSA A23.3 AND CAN/CSA-438-M, AND ALL REFERENCED WITHIN STANDARDS AND SPECIFICATIONS.
2. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO THE STANDARDS OF CAN/CSA-G30.18-21 AND SHALL BE MIN GRADE 400. INSTALL REBAR MIN. 2" OFF UNDERFILL OR AS DETAILED. USE ADEQUATE SUPPORTS TO PREVENT MOVEMENT. SUPPORTS SHALL NOT AFFECT THE INTEGRITY OF THE CONCRETE SLAB.
3. LAP CONTINUOUS REINFORCING MIN 24 BAR DIAMETER AT SPLICES AND CORNERS. SPLICE TOP STEEL AT MIDSPAN AND BOTTOM STEEL AT SUPPORTS EXCEPT IN FOOTINGS.
4. ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF ASTM A1064/A1064M-10. ALL WELDED WIRE FABRIC SHALL BE LAPPED ONE (1) FULL MESH PANEL AND TIED SECURELY.
5. MINIMUM CONCRETE STRENGTH TO BE 25 MPA AFTER 28 DAYS WITH 6% AIR ENTRAINMENT.
6. ENGINEER TO REVIEW SLAB PREPARATION PRIOR TO CONCRETE BEING POURED. PLEASE PROVIDE MIN. 48 HOURS NOTICE.



PROJECT NAME	SUNDRIDGE COMMUNITY HUB WASHROOM BUILDING MUNICIPAL LANE, SUNDRIDGE
DRAWING TITLE	FOUNDATION PLAN
PROJECT NO.	2026-41

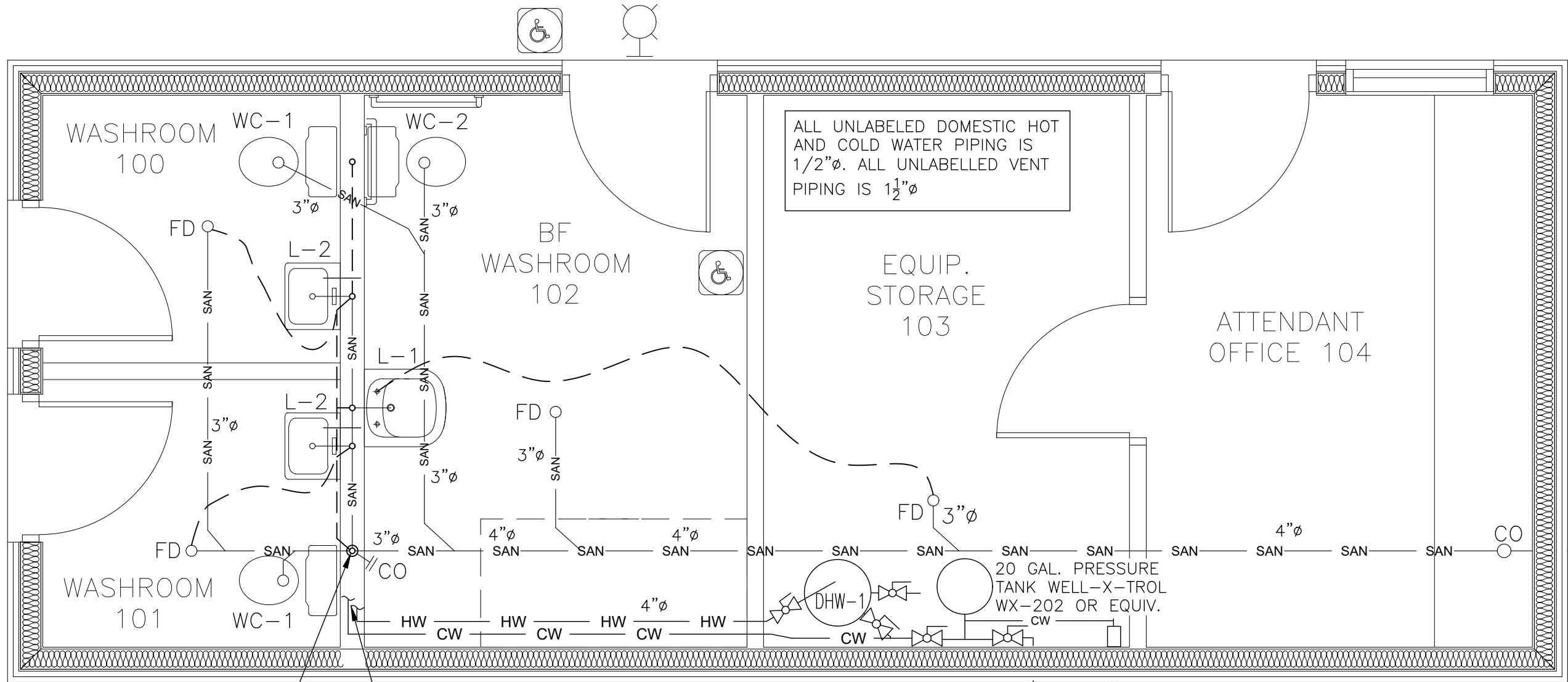
DRAWING NO.
S-1

SCALE	AS SHOWN
DRAWN	FP
CHECKED	FP

ISSUE/REVISIONS		
NO.	DATE	DESCRIPTION
A	6/23/26	COORDINATION REVIEW
B	7/14/26	FOR CLIENT REVIEW
C	08/12/26	PRE-TENDER REVIEW
0	08/20/26	FOR PERMIT, TENDER & CONSTRUCTION



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greenerearthengineering@gmail.com



PLUMBING LEGEND

- CW ——— DOMESTIC COLD WATER PIPING
- HW ——— DOMESTIC HOT WATER PIPING
- SAN ——— BELOW SLAB SANITARY SEWER PIPING
- VENT PIPING
- - - - - TRAP SEAL PIPING
- || WALL OR STACK CLEAN-OUT
- CO FLOOR CLEAN-OUT
- FD FLOOR DRAIN
- Valve symbol VALVE
- WH Non-freeze wall hydrant

4"Ø MAIN BUILDING DRAIN TO SEPTIC SYSTEM (SEE SEPTIC DESIGN & PLAN FOR LOCATION OF TANK. PROVIDE CLEAN-OUT AT BUILDING EXIT AS PER CODE REQ'MTS.

PLUMBING LAYOUT
SCALE: 3/8"=1'-0"

PLUMBING SPECIFICATIONS

- GENERAL
 - 1.1 PROVIDE ALL ITEMS, ARTICLES, MATERIALS, OPERATIONS AND METHODS LISTED, MENTIONED AND SCHEDULES IN THE CONTRACT DOCUMENTS. INCLUDE ALL LABOUR, EQUIPMENT, TOOLS AND OTHER INCIDENTALS NECESSARY AND REQUIRED FOR THE COMPLETE INSTALLATION. USE ONLY NEW MATERIAL AND EQUIPMENT. TEST AND PUT INTO OPERATION AS SPECIFIED.
 - 1.2 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LOCAL CODES AND STANDARDS AND WITH APPROVAL OF THE AUTHORITIES HAVING JURISDICTION.
 - 1.3 THIS CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE AS PART OF THE GENERAL CONTRACT.
 - 1.4 THIS CONTRACTOR SHALL INSPECT THE PROJECT PRIOR TO TENDER TO REALIZE THE SCOPE OF WORK INVOLVED AND TO FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY IN THIS REGARD. NOTIFY THE ENGINEER OF ANY DISCREPANCY BEFORE STARTING PROJECT. OBEY ONLY WRITTEN INSTRUCTIONS.
 - 1.5 CONFER WITH ALL TRADES INSTALLING EQUIPMENT WHICH MAY AFFECT THE MECHANICAL WORK AND ARRANGE THE WORK IN PROPER RELATION WITH EQUIPMENT INSTALLED UNDER ALL DIVISIONS OF THE CONTRACT. NO EXTRAS WILL BE ALLOWED FOR FAILURE TO DO SO.
 - 1.6 PLUMBING SYSTEMS TO BE PROVIDED BY QUALIFIED AND RECOGNIZED INSTALLATION FIRM WITH AN ESTABLISHED REPUTATION IN THIS FIELD.
 - 1.7 THE CONTRACTOR SHALL SUBMIT FOR REVIEW BY THE ENGINEER, (6) COPIES OF SHOP DRAWINGS, SPECIFICATIONS AND CATALOGUE CUTS FOR ALL PURCHASED EQUIPMENT. (INCLUDING BUT NOT LIMITED TO HOT WATER TANKS, SINKS, LAVATORIES, WATER CLOSETS, FAUCETS, VALVES, PLUMBING SPECIALTIES & PIPE INSULATION).
- ELECTRICAL WIRING
 - 2.1 ALL POWER WIRING SHALL BE CARRIED OUT UNDER ELECTRICAL CONTRACT.
 - 2.2 ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL DISCONNECT SWITCHES FOR ALL MOTORS UNLESS OTHERWISE NOTED.
 - 2.3 THIS CONTRACTOR SHALL SUBMIT SCHEMATIC DIAGRAMS FOR POWER WIRING, CONTROL WIRING ETC. RELATING TO MECHANICAL EQUIPMENT FOR REVIEW PRIOR TO INSTALLATION.
 - 2.4 LOW VOLTAGE CONTROL WIRING SHALL BE INCLUDED IN THIS CONTRACT, INCLUDING SUPPLY AND INSTALLATION OF TRANSFORMERS.
- WATER PIPING SYSTEMS:
 - 3.1 PIPING-DOMESTIC HOT AND COLD
 - .1 HIGH DENSITY CROSSLINKED POLYETHYLENE (PEX-A) TO CSA B137.5
 - .2 FITTINGS-COLD-EXPANSION TYPE WITH PEX REINFORCING RINGS MATERIAL: LEAD FREE BRASS, COPPER OR PPSU TO ANSI 372.2.3
 - .3 VALVES-BRASS BALL TYPE, SS BALL, PTFE PACKING, BRASS GLAND, BUNA N SEAT. (CRANE OR EQUIV.).
 - 3.2 VALVES-BRASS BALL TYPE, SS BALL, PTFE PACKING, BRASS GLAND, BUNA N SEAT. (CRANE OR EQUIV.).
 - 3.3 VALVES-BRASS BALL TYPE, SS BALL, PTFE PACKING, BRASS GLAND, BUNA N SEAT. (CRANE OR EQUIV.).
- DRAINAGE SYSTEMS ABOVE AND BELOW GROUND
 - 4.1 BURIED DWV PIPING - SANITARY AND VENT
 - .1 PIPING & FITTINGS -TO CAN/CSA B181.1, CAN/CSA-B181.2, CAN/CSA-B182.1
 - .2 JOINTS - SOLVENT WELD FOR PVC - TO ASTM D2564 - SOLVENT WELD FOR ABS - TO ASTM D2235
 - 4.2 ABOVE GROUND SANITARY AND VENT
 - .1 PIPING-ABS TO CAN/CSA B181.1, ASTM F628.
 - .2 JOINTS-SOLVENT WELD FOR ABS-TO ASTM D2235.
- DOMESTIC HOT WATER HEATERS
 - 5.1 DHW-1
 - .1 CAPACITY - 41 GAL.(184L) STORAGE, 3000W ELECTRIC HOT WATER HEATER
 - .2 CONSTRUCTION - TO CSA 22.2 STANDARDS
 - .3 TANK-2" ECO-FRIENDLY FOAM LINED STEEL, CERTIFIED FOR 150 PSI.
 - .4 POWER-240V 1Ø DIRECT CONNECTION.
 - .5 3/4" BOTTOM ENTRY, 3/4" NPT DISCHARGE, DRAIN VALVE
 - .6 MINIMUM 5 YEAR WARRANTY CERTIFICATE
 - .7 STANDARD OF ACCEPTANCE - GIANT MOD. 152B-3F7M
- PLUMBING FIXTURES
 - 6.1 BARRIER FREE ELONGATED BOWL WATER CLOSET (WC-E)
 - .1 AMERICAN STANDARD CADET PRO PRESSURE ASSISTED "RIGHT HEIGHT", ELONGATED RIM, LOW CONSUMPTION WATER CLOSET COMBINATION, 215AA.104, OLSENITE #95 OPEN FRONT WHITE SEAT.
 - 6.2 STANDARD WATER CLOSET (WC-2)
 - .1 AMERICAN STANDARD CADET PRO PRESSURE ASSISTED, ELONGATED RIM, LOW CONSUMPTION WATER CLOSET COMBINATION, 215CA.004 OLSENITE #95 OPEN FRONT WHITE SEAT.
- PLUMBING SPECIALTIES
 - 7.1 FLOOR DRAIN (FD)
 - .1 CAST IRON BODY, CLAMP COLLAR, HEAVY DUTY NICKEL BRONZE STRAINER, SEDIMENT BUCKET, TRAP SEAL PRIMER TAPPING MIFAB F1100-125-1-5-7 OR EQUIVALENT
 - 7.2 FLOOR CLEAN-OUT (CO)
 - .1 CAST IRON BODY WITH ANCHOR FLANGE, NICKEL BRONZE CLEAN-OUT PLUG AND COVER, NEOPRENE GASKETS AND VANDAL-PROOF SCREWS MIFAB C1100 SERIES TO MATCH FLOOR FINISH OR EQUIVALENT
 - 7.3 TRAP SEAL PRIMER (TSP)
 - .1 MIFAB MI-TSP CONTINUOUS FLOW OR EQUIVALENT
 - 7.4 NON-FREEZE WALL HYDRANT (WH)
 - .1 SELF DRAINING EXPOSED TYPE WITH APPROVED ANTI-SIPHON AND VANDAL RESISTANT INTEGRAL VACUUM BREAKER, 3/4" MALE HOSE CONNECTION, HARDENED BRONZE OPERATING STEM, POLISHED CHROME FACE & OPERATING KEY (MIFAB MHY-10 OR EQUIVALENT)

PLUMBING SCOPE OF WORK

1. EXAMINE SITE PRIOR TO COMMENCEMENT OF ANY WORK. VERIFY LOCATION WHERE DRAINAGE AND PRESSURE CONNECTIONS ARE TO BE MADE WITH SITE SERVICES. NOTIFY CONSULTANT OF ALL DISCREPANCIES PRIOR TO COMMENCING WORK. DO NOT SCALE DRAWINGS.
2. INSTALL DRAINAGE AND PRESSURE PIPING AS OUTLINED ON THIS DRAWING. LAYOUT IS SCHEMATIC IN NATURE AND ROUTING IS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO BEGINNING WORK. BURIED WASTE AND DRAINAGE PIPING TO BE PLACED ON CLEAN SAND AND BACKFILLED WITH A MINIMUM OF 6" OF 'A' GRAVEL. PRESSURE TEST ALL BURIED WASTE AND DRAINAGE PIPING PRIOR TO BACKFILLING AND POURING CONCRETE FLOOR. ENSURE ADEQUATE DRAINAGE SLOPE (MIN. 1:50) OF MAIN BUILDING DRAIN TO SEPTIC TANK. NOTIFY CONSULTANT OF ANY DISCREPANCY.
3. LOCATE FIXTURES, VENT DISCHARGES, CLEAN-OUTS, AND ACCESSORIES AS SHOWN ON THE DRAWING AND AS DIRECTED BY THE OWNER AND ARCHITECT. CONNECT ALL REQUIRED VENTING WITHIN THE CEILING/FLOOR SPACE AND TERMINATE AT THE ROOF LEVEL IN A LOCATION SATISFACTORY TO ALL PARTIES. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ASSOCIATED ROOF FLASHINGS TO ENSURE A WATER-TIGHT PENETRATION OF ALL THROUGH-ROOF VENT STACKS.
4. INSTALL HOT AND COLD WATER PIPING TO EACH FIXTURE AS INDICATED ON THE CONNECTION SCHEDULE. PROVIDE VALVING AT EACH FIXTURE AND AS REQUIRED BY CODE. ALL HOT AND COLD WATER PIPING IN CEILING SPACE IS TO BE INSULATED AS REQUIRED. PIPING WITHIN WALLS AND COUNTERS MAY BE UNINSULATED COPPER/PEX PIPING AS ALLOWED BY CODE. USE ALL APPROPRIATE ADAPTORS AND FITTINGS.
5. ALL PIPING PENETRATIONS OF FIRE RATED PARTITIONS (IF PRESENT) TO BE PROTECTED BY APPROPRIATE FIRESTOP CONSTRUCTORS AS MANUFACTURED BY HILTI OR EQUIV.
6. INSTALL ALL FIXTURES AND SPECIALTIES IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. CONFIRM LOCATIONS WITH ARCHITECT OR CONSULTANT PRIOR TO ROUGH-IN. MATCH SPECIALTIES DIMENSIONALLY AND WITH RESPECT TO FINISH OF THE SPACE WHERE THEY ARE TO BE INSTALLED. TEST AND ADJUST AS REQUIRED.
6. PROVIDE THERMOSTATIC MIXING VALVE(S) AS REQUIRED BY CODE TO LIMIT HOT WATER TEMPERATURE. INSULATE ALL SUPPLY AND DRAIN PIPING BELOW H/C LAVATORY AS REQUIRED BY OBC 3.8.3.11.
7. TEST ALL PIPING AS REQUIRED BY CODE AND AUTHORITIES HAVING JURISDICTION. PROVIDE COPIES OF ALL TEST REPORTS TO CONSULTANT PRIOR TO BURYING PIPING OR CONCEALING IN WALLS.
8. FLUSH, CLEAN AND DISINFECT ALL POTABLE WATER PIPING PRIOR TO COMPLETION OF JOB. SAMPLE AND TEST WATER FOR POTABILITY PRIOR TO ACCEPTANCE OF WORK. SUBMIT TEST RESULTS TO CONSULTANT FOR REVIEW.
9. PROVIDE AS-BUILT DRAWINGS TO OWNER INDICATING DIMENSIONED LOCATIONS OF ALL FIXTURES, CLEAN-OUTS, AND CONCEALED PIPING IF DIFFERENT THAN SHOWN ON DESIGN DRAWINGS.

PLUMBING FIXTURE CONNECTION SCHEDULE

SYMBOL	ITEM	WASTE	VENT	CW	HW
WC-E	ELONG. WATER CLOSET	3"	1-1/2"	1/2"	-
WC	STANDARD WATER CLOSET	3"	1-1/2"	1/2"	-
LAV	COUNTER MOUNT OR WALL HUNG LAVATORY	1-1/4"	1-1/4"	1/2"	1/2"
FD	FLOOR DRAIN	3"	N/R	①	-
NOTES: ① PROVIDE TRAP SEAL PRIMER AT CLOSEST FIXTURE AND 3/8" POLY LINE TO FLOOR DRAIN					



PROJECT NAME
SUNDRIDGE COMMUNITY HUB
ATTENDANT OFFICE & WASHROOM PAVILION
128 MUNICIPAL LANE, SUNDRIDGE, ONTARIO

DRAWING TITLE
PLUMBING PLAN, DETAILS & SPECIFICATIONS

PROJECT NO.
2026-41

DRAWING NO.

M-1

SCALE
AS SHOWN

DRAWN
TP

CHECKED
FP

ISSUE/REVISIONS		
NO.	DATE	DESCRIPTION
A	07/06/26	COORDINATION REVIEW
B	07/22/26	REVISIONS RE: SITE SERVICING
C	08/12/26	PRE-TENDER REVIEW
0	08/20/26	FOR PERMIT, TENDER & CONSTRUCTION



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